

PUBLIC HEARING
Monday, November 15, 2021

A Public Hearing convened on Monday, November 15, 2021 at 7:06 p.m. in the Council Chambers, City Hall, 3000 Guildford Way, Coquitlam, B.C. with the following persons present:

Council Members Present: Mayor Richard Stewart
Councillor Brent Asmundson
Councillor Craig Hodge
Councillor Steve Kim
Councillor Trish Mandewo
Councillor Dennis Marsden
Councillor Teri Towner
Councillor Chris Wilson

Staff Present: Peter Steblin, City Manager
Raul Allueva, Deputy City Manager
Jaime Boan, General Manager Engineering and Public Works
Don Luymes, General Manager Planning and Development
Andrew Merrill, Director Development Services
Robert Cooke, Development Servicing Engineer Manager
Natasha Lock, Planner 2
Kerry Thompson, Planner 2
Stephanie Lam, Legislative Services Manager
Rachel Cormack, Legislative Services Coordinator

REPORT OF DIRECTOR DEVELOPMENT SERVICES

The Director Development Services submitted a written brief to the Public Hearing dated November 8, 2021, a copy of which is attached to and forms a part of these minutes.

ADVERTISING OF PUBLIC HEARING

The Public Hearing was advertised in the Tri-City News on the following dates: Thursday, November 4, 2021 and Thursday, November 11, 2021.

OPENING REMARKS

The Chair provided opening remarks in which he set out the Public Hearing process.

Councillor Kim, noting that he had a previous business relationship with the applicant, declared a potential perceived conflict of interest with respect to the following item and recused himself from the meeting at this time (7:12 p.m.).

ITEM #1 **Reference: PROJ 20-091**
Bylaw No. 5149, 2021
Address: 931 Grant Street

The intent of Bylaw No. 5149, 2021 is to amend the City of Coquitlam Zoning Bylaw No. 3000, 1996 to rezone the subject property as outlined in black on the map marked Schedule 'A' to Bylaw No. 5149, 2021 from RS-1 One-Family Residential to RTM-1 Street-Oriented Village Home Residential.

If approved, the application would facilitate the development of four street-oriented village homes within two buildings.

The Planner 2 provided an overview of the following:

- Zoning and Land Use Designation
- Proposal
- Recommendation

In response to a question from Council, the Planner 2 noted that the townhouse application to the south of the subject property has already received fourth and final readings.

The Applicant, Daniel Kim (Newgen Group), provided introductory comments relative to his application.

In response to a question from Council, the Planner 2 provided an overview of the work staff and the applicant did towards the potential inclusion of 933 Grant Street, and noted that the owners at that point did not wish to sell. The Planner 2 further noted that the applicant has provided a development plan should they accrue 933 Grant Street.

Discussion ensued relative to the following:

- Potential ways for 933 Grant to be included in future land assemblies and whether a laneway along the north side of the property is required
- Clarification regarding the provided amount of parking as part of the application

The Chair called for additional speakers. There was no response and no further representations to this item.

The following submissions were received, are attached to, and form a part of these minutes:

1. Email from Jing Bao, 933 Grant Street, Coquitlam, received on November 14, 2021; and
2. Email from Jin Fan, 933 Grant Street, Coquitlam, received on November 14, 2021.

The Chair declared the Public Hearing regarding Item #1 closed at this time (7:26 p.m.).

Councillor Kim returned to the meeting at this time (7:27 p.m.).

ITEM #2 Reference: PROJ 20-011
Bylaw No. 5151, 2021
Address: 1038 Delestre Avenue

The intent of Bylaw No. 5151, 2021 is to amend the City of Coquitlam Zoning Bylaw No. 3000, 1996 to rezone the subject property as outlined in black on the map marked Schedule 'A' to Bylaw No. 5151, 2021 from P-2 Special Institutional to RT-1 Infill Residential.

If approved, the application would facilitate the development of a fourplex residential building.

The Director Development Services provided an overview of the following:

- Zoning and Land Use Designation
- Proposal
- Recommendation

The Applicant, Satendra Mann, provided Council with an on-screen presentation which is attached to, and forms a part of these minutes.

In response to a question from Council, the applicant provided clarification as to an external feature shown on the design drawings.

Richard Tennant, 1032 Delestre Avenue, Coquitlam, appeared before Council to express support of the application and to request Council approve the project that they're currently undertaking on their property.

The Chair called for additional speakers. There was no response and no further representations to this item.

The following submissions were received, are attached to, and form a part of these minutes:

1. Email from Richard Tennant and Mercedes Flores, 1032 Delestre Avenue, Coquitlam, received on November 15, 2021.

The Chair declared the Public Hearing regarding Item #2 closed at this time (7:44 p.m.).

ITEM #3

Reference: PROJ 18-134

Bylaw Nos. 5153, 5155 and 5154, 2021

Addresses: 1525 and 1541 Dayton Street (Subject Properties), and 1509, 1511, 1513, 1515, and 1517 Dayton Street, 3426, 3428 and 3430 Hamber Court, 1508, 1510, 1519 and 1521 Shore View Place, and 1491 and 1503 Coast Meridian Road

The intent of Bylaw No. 5153, 2021 is to amend Citywide Official Community Plan Bylaw No. 3479, 2001 to redesignate a portion of the subject properties as outlined in black on the map marked Schedule 'A' to Bylaw No. 5153, 2021 from Development Reserve and Environmentally Sensitive Area to Large Village Single Family, Large Single Family, Environmentally Sensitive Area, and Neighbourhood Parks & Natural Open Spaces.

The intent of Bylaw No. 5154, 2021 is to amend the City of Coquitlam Zoning Bylaw No. 3000, 1996 to rezone a portion of the subject properties as outlined in black on the map marked Schedule 'A' to Bylaw No. 5154, 2021 from RS-2 One-Family Suburban Residential to RS-8 Large Village Single Family Residential, RS-9 Large Single Family Residential, and P-5 Special Park.

If approved, the application would facilitate the creation of 26 single family lots, one Park lot for the Streamside Protection and Enhancement Area and adjacent nature trail, and one remnant lot.

The intent of Bylaw No. 5155, 2021, which is a housekeeping amendment, is to amend Citywide Official Community Plan Bylaw No. 3479, 2001 to redesignate portions of the subject properties outlined in black on the map marked Schedule 'A' to Bylaw No. 5155, 2021 from Development Reserve and Environmentally Sensitive Area to Large Village Single Family and Neighbourhood Parks & Natural Open Spaces.

If approved, the housekeeping amendment would align the land use designations for the subject properties with the current zoning and existing use.

The Planner 2 provided an overview of the following:

- Zoning & Land Use Designation – Multiple Properties
- Proposal – 1525 and 1541 Dayton Street
- Housekeeping Amendment – Multiple Properties
- Recommendation – Multiple Properties

In response to a question from Council, the Planner 2 provided clarification as to the proposed housekeeping amendment, noting that it will update the land use designation of the split designation properties identified to bring them in-line with their current zoning and property use.

The Applicant, Ron Marr, Townline, provided Council with an on-screen presentation which is attached to, and forms a part of these minutes.

The Chair called for additional speakers. There was no response and no further representations to this item.

The following submissions were received, are attached to, and form a part of these minutes:

1. Email from Roberto and Judith Paccagnan, 640 Gardena Drive, Coquitlam, received on October 13, 2021;

The Chair declared the Public Hearing regarding Item #3 closed at this time (7:57 p.m.).

CLOSURE OF PUBLIC HEARING

The Chair declared the Public Hearing closed at 7:57 p.m. on Monday, November 15, 2021.

MINUTES CERTIFIED CORRECT

CHAIR

I hereby certify that I have recorded the Minutes of the Public Hearing held on Monday November 15, 2021 as instructed, subject to amendment and adoption.



Rachel Cormack
Legislative Services Coordinator

**PLANNING AND DEVELOPMENT DEPARTMENT
BRIEF TO PUBLIC HEARING, MONDAY NOVEMBER 15, 2021**

ITEM #1 – PROJ 20-091 – BYLAW NO. 5149, 2021

Application to amend *City of Coquitlam Zoning Bylaw No. 3000, 1996* to rezone the property at 931 Grant Street, from RS-1 One-Family Residential to RTM-1 Street-Oriented Village Home Residential – *Bylaw No. 5149, 2021*.

Recommendation:

That Council give second and third readings to *City of Coquitlam Zoning Amendment Bylaw No. 5149, 2021*.

First Reading:

On October 4, 2021, Council gave first reading to *Bylaw No. 5149, 2021* and referred the bylaw to Public Hearing.

Additional Information:

At the October 4, 2021 Regular Council meeting, Council requested no additional information.

A handwritten signature in black ink, appearing to be 'J. Smith' or similar, located in the bottom right corner of the page.

ITEM #2 – PROJ 20-011 – BYLAW NO. 5151, 2021

Application to amend *City of Coquitlam Zoning Bylaw No. 3000, 1996* to rezone the property at 1038 Delestre Avenue, from P-2 Special Institutional to RT-1 Infill Residential – *Bylaw No. 5151, 2021*.

Recommendation:

That Council give second and third readings to *City of Coquitlam Zoning Amendment Bylaw No. 5151, 2021*.

First Reading:

On October 4, 2021, Council gave first reading to *Bylaw No. 5151, 2021* and referred the bylaw to Public Hearing.

Additional Information:

At the October 4, 2021 Regular Council meeting, Council requested the following additional information:

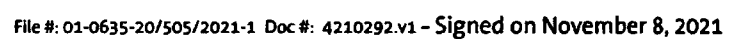
1. Clarify parking space numbers and orientation.

The Zoning Bylaw requires eight parking spaces for a fourplex development (two spaces per dwelling unit). The applicant has proposed a total of nine on-site parking spaces located at the rear of the lot with direct access from the lane. Of the nine on-site parking spaces, eight are provided in tandem providing each unit with two dedicated tandem parking spaces as permitted by the Zoning Bylaw; one of the nine on-site parking spaces is labelled as a visitor parking space. Visitor parking spaces are not required for fourplex residential developments; however, the applicant has provided the additional parking space to help mitigate potential parking space issues.

2. Clarify site accessibility between the on-site waste enclosure storage areas and the designated City waste pick up location.

All units are provided with a separate waste enclosure storage area located at the rear of the site with close walking proximity (approximately 12 metres (39 feet)) to the City pick up location at the rear lane. The waste enclosure storage areas are located under the carport roof, within each unit's parking area. The site is designed with two walkways running north-south along the east and west property lines; and, a walkway is provided between each waste enclosure storage area and the rear lane, allowing future residents to carry the waste carts to and from the waste pick up location.

Page 3



ITEM #3 – PROJ 18-134 – BYLAW NOS. 5153, 5154, and 5155, 2021

Application to amend *City of Coquitlam Citywide Official Community Plan Bylaw No. 3479, 2001* to revise the land use designation of a portion of the properties at 1525 and 1541 Dayton Street, from Development Reserve and Environmentally Sensitive Area to Large Village Single Family, Large Single Family, Environmentally Sensitive Area, and Neighbourhood Parks & Natural Open Spaces, and Housekeeping Amendments; and to amend *City of Coquitlam Zoning Bylaw No. 3000, 1996* to rezone the same properties, from RS-2 One-Family Suburban Residential to RS-8 Large Village Single Family Residential, RS-9 Large Single Family Residential and P-5 Special Park – *Bylaw Nos. 5153, 5154, and 5155, 2021*.

Recommendation:

That Council:

1. Give second and third readings to *City of Coquitlam Citywide Official Community Plan Amendment Bylaw No. 5153, 2021* and *City of Coquitlam Zoning Amendment Bylaw No. 5154, 2021*; and
2. Give second, third, and fourth and final readings to *City of Coquitlam Citywide Official Community Plan Amendment Bylaw No. 5155, 2021*.

First Reading:

On October 4, 2021, Council gave first reading to *Bylaw Nos. 5153, 5154, and 5155, 2021* and referred the bylaws to Public Hearing.

Additional Information:

At the October 4, 2021 Regular Council meeting, Council requested the following additional information:

1. **Are the proposed booster pumps temporary? If so, at what point will they be decommissioned? Will decommissioning the booster pumps be the responsibility of the developer or the homeowner?**

Yes, the water pressure booster pumps are temporary. The developer or future builder will install a booster pump in each house during construction. The intent is as it states, to boost water pressure. Without the booster pumps, water pressure will be adequate in the first storey of each home. The booster pumps will ensure pressure is adequate in the second storey as well.

The Zone 5 reservoir, which will provide adequate water pressure to the proposed single family lots, is intended to be designed in 2022 and constructed in 2024. Once reservoir construction is complete, the booster pumps will not be needed. They will be located off the main water line into each house and equipped with a bypass so that when it comes time to decommission, the homeowner will simply open the valve to the bypass and switch off the electricity to the pump.

2. **Clarify the intent of the Development Reserve designation.**

The Development Reserve designation recognizes and holds sites that are intended for development until servicing and access issues are addressed. As stated in the Northeast Coquitlam Area Plan, these development sites are either located at higher elevations or are separated by steep slopes or ravines from existing urban development areas. The designation implies that these lands may be physically capable of accommodating urban land uses but servicing and access issues must first be addressed.

The Northwest Burke Vision states that "Development Reserve" is defined as land intended for [i.e. reserved for] future urban development.

3. Clarify whether any Environmentally Sensitive Area lands are proposed to be removed.

As part of *Citywide Official Community Plan Amendment Bylaw No. 5153, 2021*, the applicant proposes to redesignate the northwestern portion of the subject site within the parent properties (hereon referred to as "northwest portion of the subject site") from Environmentally Sensitive Area (ESA) to Large Single Family (see "A" on Attachment 1).

During a neighbourhood planning process, staff apply the Environmentally Sensitive Area (ESA) land use designation to ravines and the riparian area of watercourses based on the best topographic information available at the time. Through development, Qualified Environmental Professionals (QEPs) survey, assess and accurately define the ESA. This often results in the shifting of lands from or to ESA as the exact location of natural features is determined.

In 2013, the QEP surveyed and assessed the ESA within the parent properties. The QEP found the northwest portion of the subject site to be outside the ESA. The QEP completed and submitted this assessment as part of their Watercourse Protection Development Permit application (13 007464 DP). The applicant's proposal aligns the ESA land use designation with the QEP's survey and assessment.

Overall, the applicant is proposing to increase the area of ESA, as the proposal includes the redesignation of Hyde Creek Tributary 5 from Development Reserve to ESA (see "B" on Attachment 1).

As part of *Citywide Official Community Plan Amendment Bylaw No. 5155, 2021* (City-led housekeeping amendment), the City proposes a redesignation of the existing trail along Hyde Creek Tributary 2c (hereon referred to as "tributary trail") from ESA to Neighbourhood Parks and Natural Open Spaces (see "C" on Attachment 1). When the QEP surveyed and assessed the ESA in 2013, the QEP found the tributary trail area to be outside the ESA. In 2014, the tributary trail was developed and conveyed to the City.

The correct land use designation for trails in the Smiling Creek Neighbourhood Plan is Neighbourhood Parks and Natural Open Spaces; however, the tributary trail was incorrectly left designated as ESA. This is why staff propose to redesignate the tributary trail: to align the land use designation with the existing trail use.

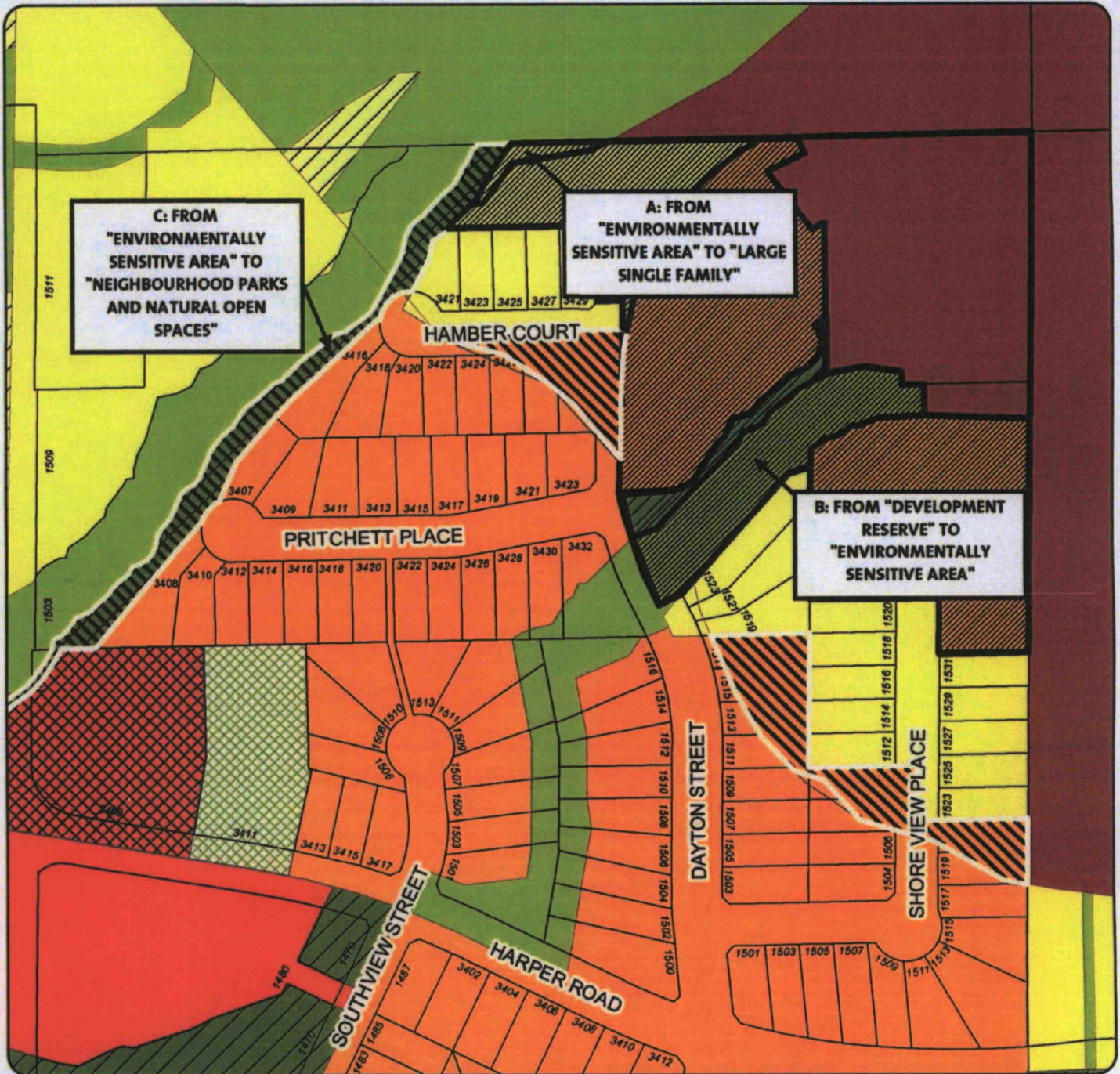
Attachment:

1. Proposed Land Use Designations – ESA Changes (Doc# 4237756)



Andrew Merrill, MCIP, RPP

AM/ce



PROPOSED OCP LAND USE DESIGNATIONS

Application No.: PROJ 18-134

Map Date: 10/28/2021



0 15 30 60 Metres

- City-led Housingkeeping Amendment Subject Area
- Subject Site within Parent Properties
- Parent Properties (1525, 1541 Dayton St)
- Civic and Major Institutional
- Conventional Townhomes
- Development Reserve

- Environmentally Sensitive Area
- Large Single Family
- Large Village Single Family
- Neighbourhood Parks and Natural Open Spaces
- Street Oriented Village Home
- Suburban Residential

Coquitlam

Clerks Dept

From: Guoxin Chen [REDACTED]
Sent: Sunday, November 14, 2021 2:53 PM
To: Clerks Dept
Subject: PROJ 20-091

Dear sir/madam,

My name is Jing Bao, one of the house owners of 933 Grant Street.

The applicant did contact us and recommended us for the co-development of the two properties.

I am not a developer like the applicant and have no plans of being involved in any property development.

However, they did not come to me with any direct offers to buy my property, thus I also wanted to clarify that I did not decline to sell, I had only declined to become partners in developing this property.

At that time and to present, I am open to selling provided a reasonable price.

Regarding "PROJ 20-091", I have the following concerns:

1. This rezoning will not apply to Policy 4.1(d) of the BLNP requirements - it will leave my property remnant, as development of housing similar to that proposed here would be more difficult provided that the North facing road next to my property is not as big of a street as Catherine Avenue, thus our properties are not exactly alike in potential for future development.
2. With two buildings on my southside that are three storeys in height,
 - a) They will block sunlight from the south side.
 - b) There will be no privacy in our backyard.

Thank you for your time and consideration regarding this matter.

Best regards,

Jing Bao

- ☒ Copies to Mayor & Council
- ☐ Tabled Item for Council Meeting
- ☐ Correspondence Item for Council Meeting
- ☒ For Information Only
- ☐ For Response Only _____
- ☒ Copies to CM, DC, GM, PD, DDS, P3, PM, FC

Clerks Dept

From: JIN FAN [REDACTED]
Sent: Sunday, November 14, 2021 2:51 PM
To: Clerks Dept
Subject: PROJ 20-091

Dear sir/madam,

My name is Jin Fan, one of the house owners of 933 Grant Street.

The applicant did contact us and recommended us for the co-development of the two properties.

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Thank you for your time and consideration regarding this matter.

Best regards,

Jin Fan

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☒ For Information Only
☐ For Response Only _____
☒ Copies to CM, DCM, CIPD, DDI, P3, Fm, Fc

Item 2 (1038 Delestre Avenue) -
Applicant Presentation



MATERIALS & COLORS

F1 ASPHALT SHINGLE ROOF:
35 YEAR WARRANTY MIM
DUAL BLACK (CAMBRIDGE KC)
SHAKE PROFILE

F2 VINYL SOFFIT:
COLOR: BM STANINGTON
GRAY HC-170

F3 METAL GUTTERS & DOWNPIPES:
BLACK (GENTEK)

F4 METAL RAILINGS:
CHARCOAL GRAY

F5 WINDOWS:
BLACK VINYL

PAIN T COLORS

P1 CLADDING COLOR TO MATCH:
STONE DASH STUCCO, NATURAL

P2 CLADDING AND FASCIA AT FRONT:
LONGBOARD ALUMINUM CLADDING,
4" HORIZONTAL V GROOVE
COLOR: "LIGHT NATIONAL WALNUT" WOOD
GRAIN FINISH

P3 BRICK CLADDING: STANDARD BRICK
COLOR: GLENNERY-FLASHED BLACKSTONE
SMOOTH

P4 WOOD TRIM & FASCIA COLOR:
TO MATCH: BM # HC-168 "KENDALL CHARCOAL"

P5 DOOR COLOR:
TO MATCH: BM # HC-168 "KENDALL CHARCOAL"

F1 FENCE COLOR:
STAIN TO MATCH: BM #HC- 168 "KENDALL
CHARCOAL"

ArchiType
design

satendra mann
604.988.6063

**DELESTRE
4 UNITS RESIDENCE**

ADDRESS:

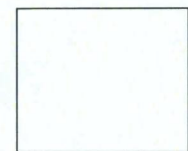
**1038 DELESTRE AVENUE
CITY OF COQUITLAM**

LEGAL DESCRIPTION:

LOT	3
BLOCK	22
DL	45
GROUP	1, NWD
PLAN	1481

P.I.D.: 012-240-842

No.	Date	Revision
1	11/20/18	ISSUED FOR DP
2	06/26/20	REVISED FOR DP
3	08/18/20	REVISED FOR DP



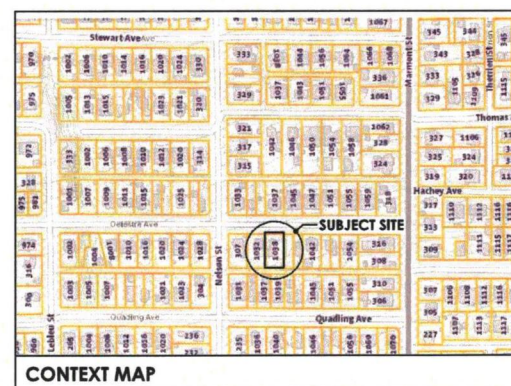
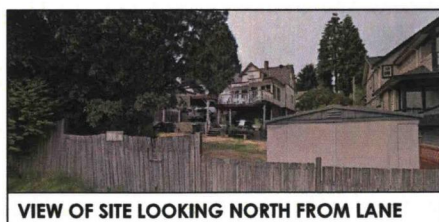
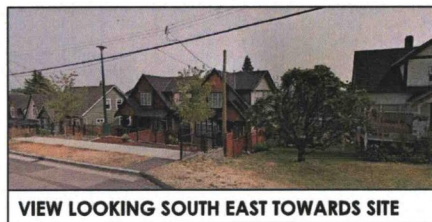
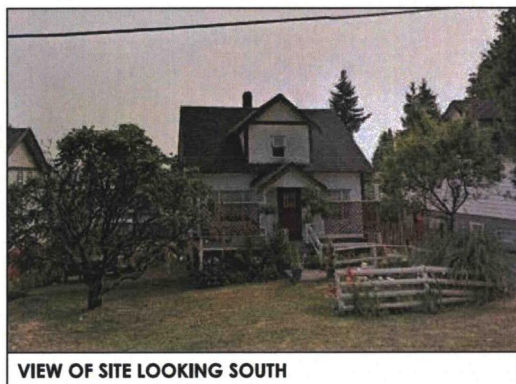
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Title
3D VIEWS

Date
AUGUST 18TH, 2020

Scale
AS SHOWN

Drawing No.
A0.0



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design

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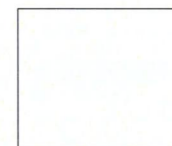
satendra malhotra
604.988.6066

**DELESTRE
4 UNITS RESIDENCE**

ADDRESS:
1038 DELESTRE AVENUE
CITY OF COQUITLAM

LEGAL DESCRIPTION:	
LOT	3
BLOCK	22
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PLAN	1481

P.I.D.: 012-240-842

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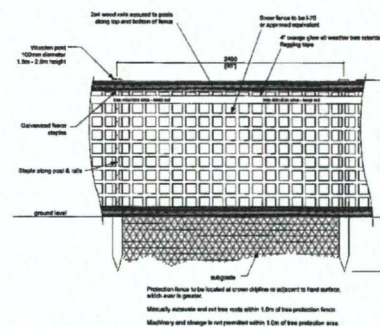
CONTEXT

Date
DECEMBER 12TH, 2019

Scale

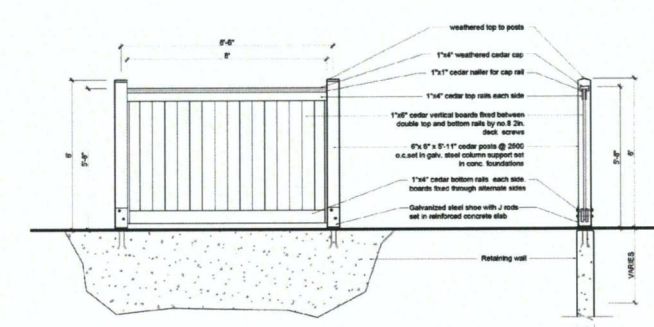
Drawing No.

A0.1



CITY OF COQUITLAM Tree Protection Fence STD. DETAIL NO. 2012 - 4

1 TREE PROTECTION FENCE DETAIL SCALE: NTS



2 CLOSE-BOARDED CEDAR FENCE SCALE: NTS

- LEGEND**
- Existing trees to be removed / retained
 - Proposed Tree Planting
 - Mixed Plantings of Shrubs, Perennials and Groundcovers
 - Broom-finish concrete with scorelines
 - Old Country Stone concrete pavers with soldier course edge by Abbotsford Concrete Products (Desert Sand Colour)
 - *Aquapave permeable conc. pavers with soldier course edge by Abbotsford Conc. - Old Country Stone ('Charcoal' colour)
 - 16"x18" Hydrapressed Slabs by Abbotsford Concrete Products (Natural colour)
 - Step light
 - Powder coated cast aluminum bollard light

- NOTES:**
- All landscape work shall be carried out in accordance with the current edition of the Canadian Landscape Standard published by CSLA/CNTA and the contract specification.
 - Growing medium in accordance with the current edition of the Canadian Landscape Standard shall be provided to the following minimum depth/dimensions: Grass Areas - 150 mm (6") Shrubs, Groundcovers, Vines & Perennials - 450 mm (18") Trees - Minimum 300 mm (12") of topsoil around the rootball compacted to 85% Std. Proctor Density
 - Ensure excavation or fill adjacent to existing trees does not exceed 6" (15cm) depth.
 - Tree protection fence shall be installed prior to construction and maintained until project completion.

1036 Deleste Ave. Plant List									
CODE	QTY	BOTANICAL	COMMON	SPACING	TYPE	NATIVE	SIZE		
Ac	1	Acer circinnale	Vine maple	as shown	tree	native	18.4m		
Ag	2	Acer glaberrimifolium 'Red November'	Red November Maple	as shown	tree	non-native	7cm Cal		
Ag	1	Acer glaberrimifolium	Paperbark Maple	as shown	tree	non-native	7cm Cal		
Com	2	Cornus capitata 'Mountain Moon'	Chinese Dogwood	as shown	tree	non-native	10", 45 pot		
St	1	Styrax japonica	Japanese Strobil	as shown	tree	non-native	8cm Cal		
sa	1	Amelanchier alabamica	Shadbush	as shown	shrub	native	45 pot		
aj	1	Azalea japonica 'Blue Danube'	Japanese azalea	as shown	shrub	non-native	45 pot		
ag	2	Azalea japonica 'Glossier'	Japanese azalea	as shown	shrub	non-native	45 pot		
ba	20	Buxus sempervirens 'Sagepalm'	Variegated Boxwood	as shown	shrub	non-native	45 pot		
ev	2	Ceanothus impressus 'Victoria'	California lilac	as shown	shrub	non-native	45 pot		
hq	2	Hydrangea quercifolia	Oakleaf hydrangea	as shown	shrub	non-native	45 pot		
la	20	Larodendron arbutifolia 'Forsythia Purple'	English Lavender	as shown	shrub	non-native	45 pot		
la	6	Larodendron arbutifolia 'Papillon'	Spanish Lavender	as shown	shrub	non-native	45 pot		
lp	3	Leucophaea pinnatifida	Pinelawn hollyhock	as shown	shrub	non-native	45 pot		
la	3	Hamamelis virginica 'Vanguard'	Witch-hazel	as shown	shrub	non-native	45 pot		
pb	1	Philadelphus lewisii 'Blizzard'	Mock orange	as shown	shrub	native	45 pot		
pd	4	Physocarpus opulifolius 'Doris Gold'	Doris Gold Ninebark	as shown	shrub	non-native	45 pot		
ro	13	Rosa laurifolia 'Old Lady'	Old Lady Rose	as shown	shrub	non-native	45 pot		
ro	4	Rhododendron 'Crimson Light'	Crimson Light Azalea	as shown	shrub	non-native	45 pot		
st	2	Spirea betulifolia 'Thor'	Yar Birchleaf Spirea	as shown	shrub	non-native	45 pot		
sp	2	Spirea japonica	Japanese Spirea	as shown	shrub	non-native	45 pot		
sp	8	Spirea x humilis 'Gold Flame'	Gold Flame Spirea	as shown	shrub	non-native	45 pot		
sa	2	Symphoricarpos alba	Common Snowberry	as shown	shrub	native	45 pot		
la	8	Thalictrum aquilegifolium 'Vanessa'	Common Candy	as shown	shrub	non-native	1.5 m		
vd	2	Viburnum dentatum	David's viburnum	as shown	shrub	non-native	45 pot		
ar	6	Artemisia vulgaris 'Vermilion'	Purple Bugle	as shown	perennial	native	1.5 m		
af	16	Aquilegia vulgaris	Western Columbine	as shown	perennial	native	1.5 m		
bca	2	Begonia cordifolia 'Silver Light'	Begonia	as shown	perennial	non-native	1.5 m		
g	6	Geranium 'Johnson's Blue'	Hardy geranium	as shown	perennial	non-native	1.5 m		
ba	4	Hamamelis 'Vladimir de la Cruz'	Candy	as shown	perennial	non-native	1.5 m		
st	16	Styrax japonica	Japanese Strobil	as shown	perennial	native	1.5 m		
vi	3	Vireo latifolius purpureus	Violet	as shown	perennial	non-native	1.5 m		
co	3	Cornus canadensis	Banquet	as shown	ground cover	native	1.5 m		
ec	7	Erica carnea	Winter heath	as shown	ground cover	non-native	1.5 m		
la	5	Linum catharticum	Twinkle	as shown	ground cover	non-native	1.5 m		
af	16	Carex flaccida 'Violet'	Wet Weeping Brown Sedge	as shown	grass	non-native	1.5 m		
ba	24	Biodrum spicata	Deer fern	as shown	fern	native	1.5 m		

REVISIONS

No.	DATE	DESCRIPTION
1	201211	REVISED PER ARCH COMMENT
2	201212	REVISED PER ARCH CHANGES
3	201301	REVISED PER ARCH CHANGES
4	201302	REVISED PER CITY COMMENTS

ISSUE

No.	DATE	DESCRIPTION
1	201211	ISSUED FOR REVIEW
2	201211	ISSUED FOR REVIEW
3	201211	ISSUED FOR DP
4	201211	REVISED FOR DP
5	201211	REVISED FOR DP
6	201211	REVISED FOR DP

PD Group
Landscape Architecture Ltd.
303-515 Houghton Road
Kilburn BC, Canada V1E 8P9
(604) 944-1033

CLIENT:
Majack Developments
7767 Berkeley Street
Burnaby, BC

ARCHITECT:
ArchType Design
233 West 28th Street
Vancouver, BC

PROJECT:
4-Unit Project
1036 Deleste Ave.
COQUITLAM, BC

DWG TITLE:
Landscape Plan

REVISION	DATE	BY	CHKD
1	201211	DL	DL
2	201211	DL	DL
3	201211	DL	DL
4	201211	DL	DL
5	201211	DL	DL
6	201211	DL	DL

SCALE:
1:100

DATE:
2012

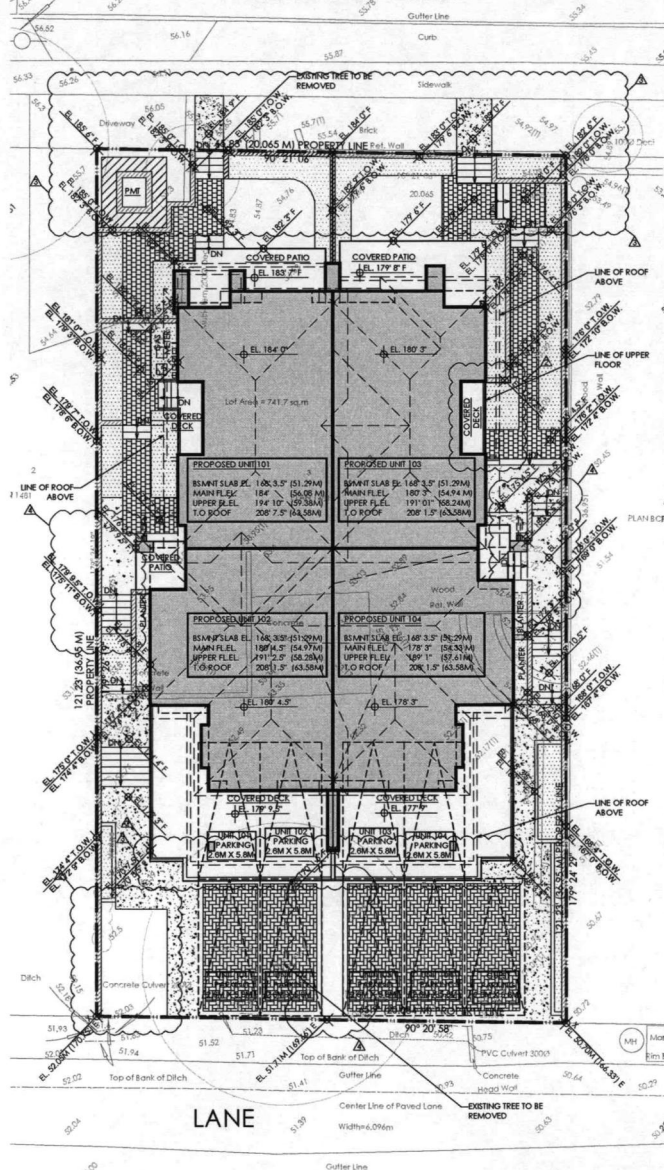
PROJECT NO.:
1915

DWG NO.:
L-1

REV.:
4

Former's Elev. is 45.03

DELESTRE AVENUE

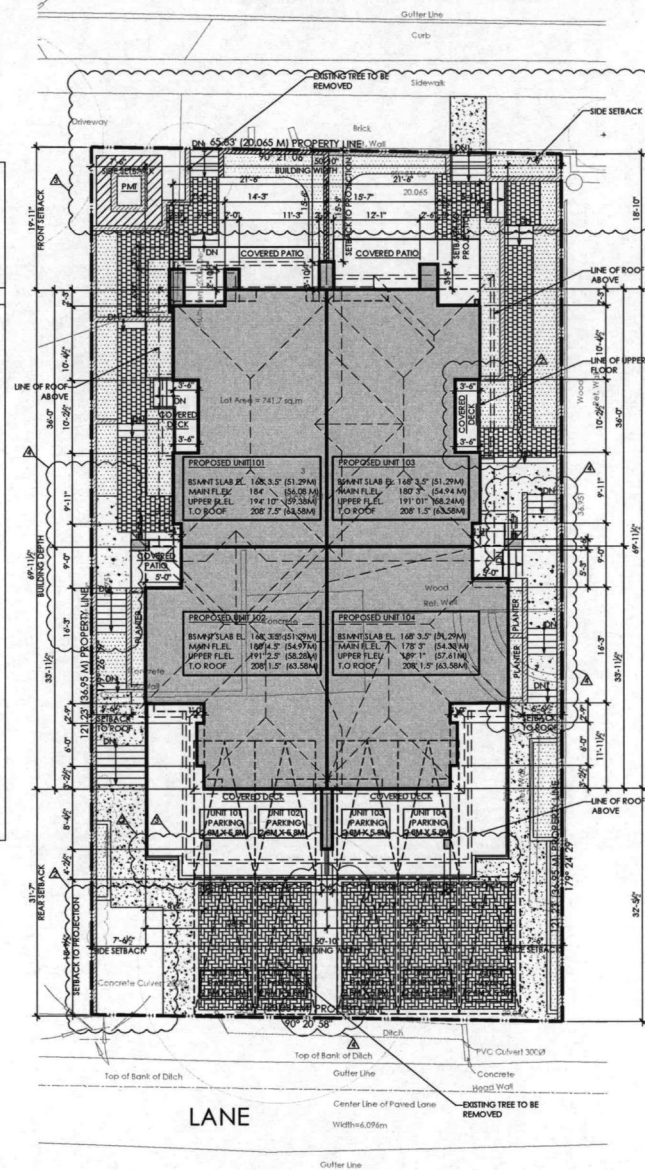


1 SITE PLAN WITH GRADES
Scale: 1/8" = 1'-0"

ADDRESS 1038 DELESTRE AVENUE, COQUITLAM	
LEGAL DESCRIPTION	
LOT	3
BLOCK	22
DISTRICT LOT	45
GROUP	1 NWD
PLAN	1481
P.I.D.	012-24-842
ZONING REQUIREMENTS	
LAND ZONED	P2 TO RT-1
SITE AREA	REQUIRED FOR 4 UNITS 7,965 SF (740 M ²)
LOT WIDTH	REQUIRED FOR 4 UNITS 45.82' (20 M)
SITE COVERAGE	PERMITTED 5.7, 7.965 SF = 3991 SF
FLOOR AREA RATIO	PERMITTED .75 X 7,965 SF = 5,987 SF
PERMITTED PROPOSED	5,987 SF 5,901 SF
UNIT 101	UNIT 102
UNIT 103	UNIT 104
MAIN FLOOR	723 SF
UPPER FLOOR	737 SF
TOTAL	2916 SF
SET BACKS	PERMITTED FRONT YARD 18.04' (5.74M) SIDE YARD 4.02' (1.24M) FLANKING SIDE 9.84' (3.04M) REAR YARD 15.68' (4.82M)
AVERAGE GRADE	179.38' + 175.54' + 170.54' + 167.08' = 492.54' + 173.14'
MAX. HT. PERMITTED	173.14' + 36.0' = 209.14'
MAX. HT. PROPOSED	209.14'
BUILDING HEIGHTS	PERMITTED 36.0' (11M) (31.2 MIN)
PARKING	REQUIRED 2 STALLS / UNIT = 8 STALLS
GARAGE WALL MAX LENGTH (MAX. 3 STALLS)	36.0' (11M)
OUTDOOR SPACE	400 SF (37 M ²) / UNIT
PROPOSED	UNIT 101: 337 SF UNIT 102: 400 SF UNIT 103: 555 SF UNIT 104: 400 SF

Elev. is 45.03

DELESTRE AVENUE



2 SITE PLAN WITHOUT GRADES
Scale: 1/8" = 1'-0"

ArchiType
design

satendra mann
604.988.6063

DELESTRE 4 UNITS RESIDENCE

ADDRESS:

1038 DELESTRE AVENUE
CITY OF COQUITLAM

LEGAL DESCRIPTION:

LOT 3
BLOCK 22
DL 45
GROUP 1, NWD
PLAN 1481

P.I.D.: 012-240-842

No.	Date	Revision
1	12/12/18	ISSUED FOR DP
2	06/26/20	REVISED FOR DP
3	08/18/20	REVISED FOR DP
4	03/26/21	REVISED FOR DP

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Title
SITE PLAN & CALCS

Date
MARCH 8TH, 2021

Scale
AS SHOWN

Drawing No.

A1

**DELESTRE
4 UNITS RESIDENCE**

ADDRESS:

**1038 DELESTRE AVENUE
CITY OF COQUITLAM**

LEGAL DESCRIPTION:

LOT 3
BLOCK 22
DL 45
GROUP 1, NWD
PLAN 1481

P.I.D.: 012-240-842

No.	Date	Revision
1	12/07/18	ISSUED FOR DP
2	06/28/20	REVISED FOR DP
3	08/20/20	REVISED FOR DP
4	03/02/21	REVISED FOR DP
5		
6		
7		
8		
9		
10		

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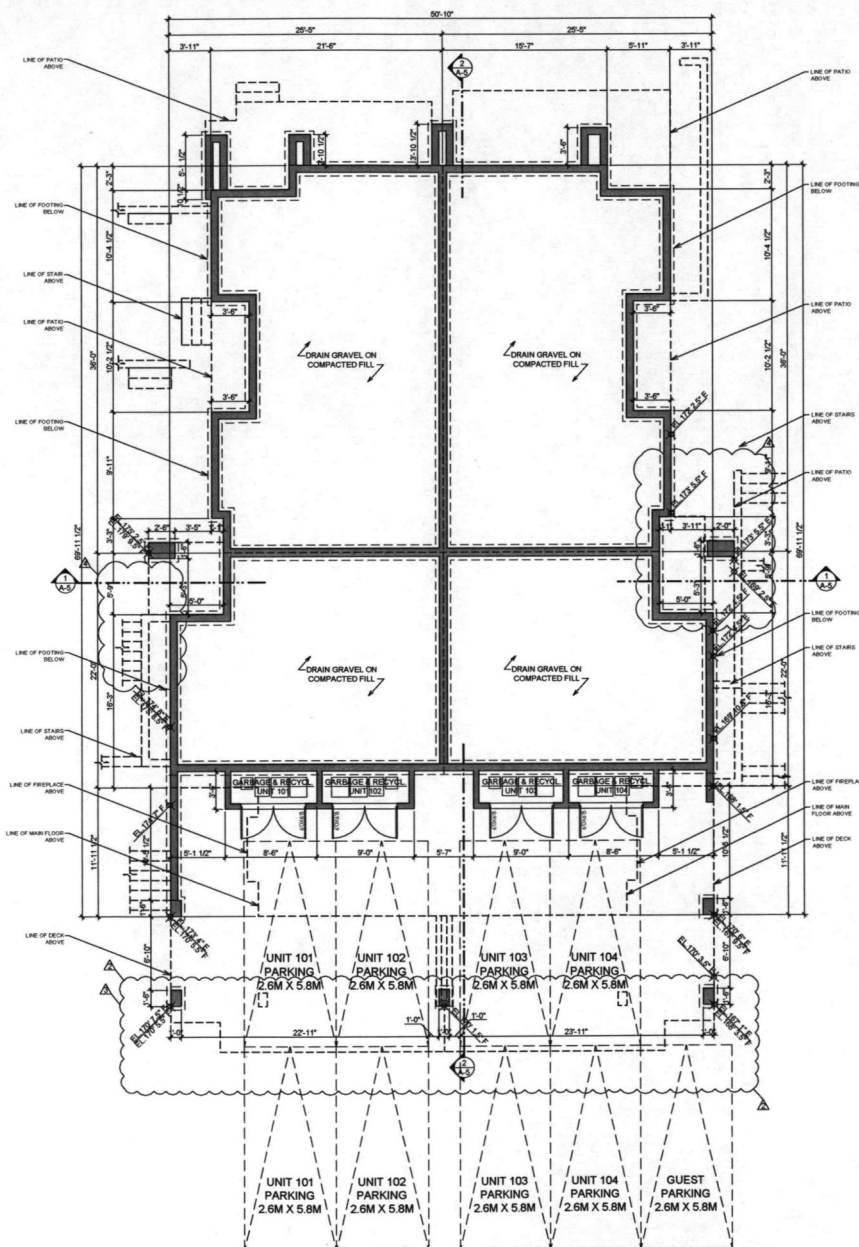
**Title
PARKING LEVEL AND
MAIN FLOOR PLANS**

Date
AUGUST 18TH, 2020

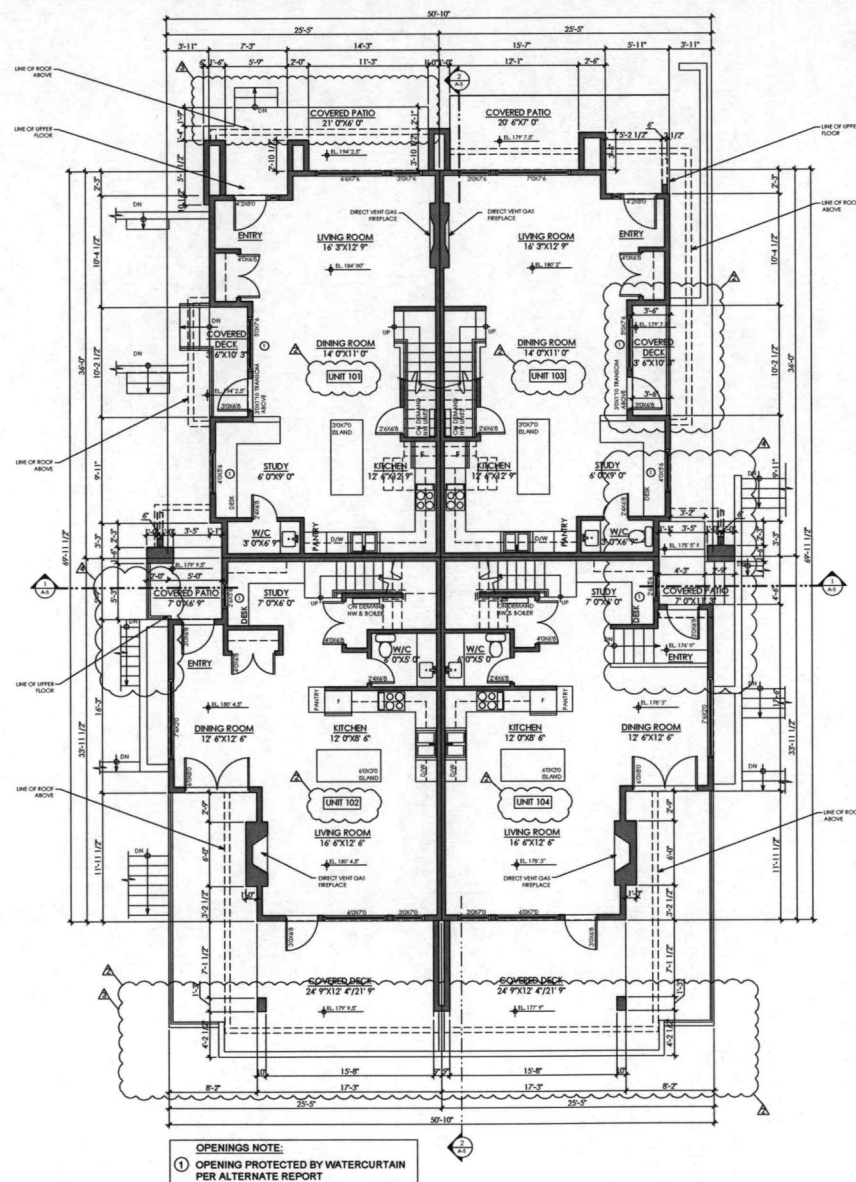
Scale
AS SHOWN

Drawing No.

A2



1 PARKING FLOOR PLAN
Scale: 3/16" = 1'-0"



2 MAIN FLOOR PLAN
Scale: 3/16" = 1'-0"
UNIT 1 SF: 721 SF
UNIT 2 SF: 721 SF
UNIT 3 SF: 737 SF
UNIT 4 SF: 737 SF
TOTAL SF: 2916 SF

**DELESTRE
4 UNITS RESIDENCE**

ADDRESS:

**1038 DELESTRE AVENUE
CITY OF COQUITLAM**

LEGAL DESCRIPTION:

LOT 3
BLOCK 22
DL 45
GROUP 1, NWD
PLAN 1481

P.I.D.: 012-240-842

No.	Date	Revision
1	12/2018	ISSUED FOR DP
2	06/2019	REVISED FOR DP
3	08/2020	REVISED FOR DP
4	03/2021	REVISED FOR DP

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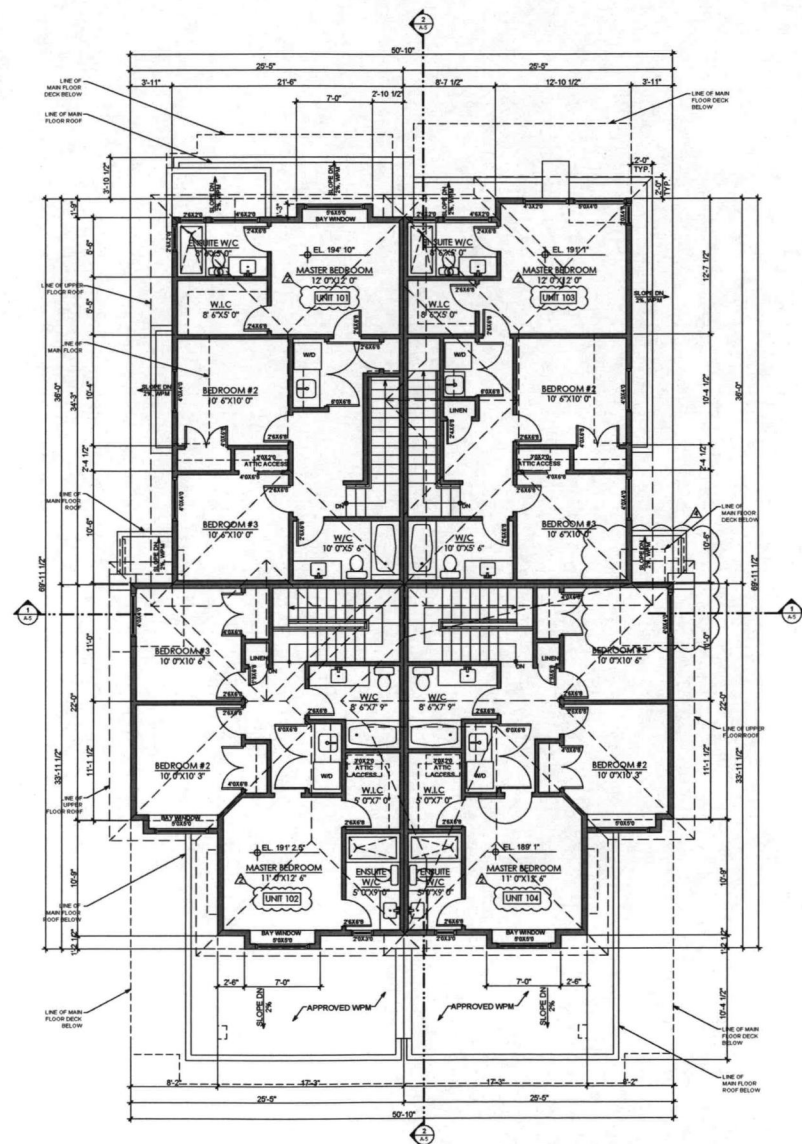
**Title
UPPER FLOOR AND
ROOF PLANS**

**Date
AUGUST 18TH, 2020**

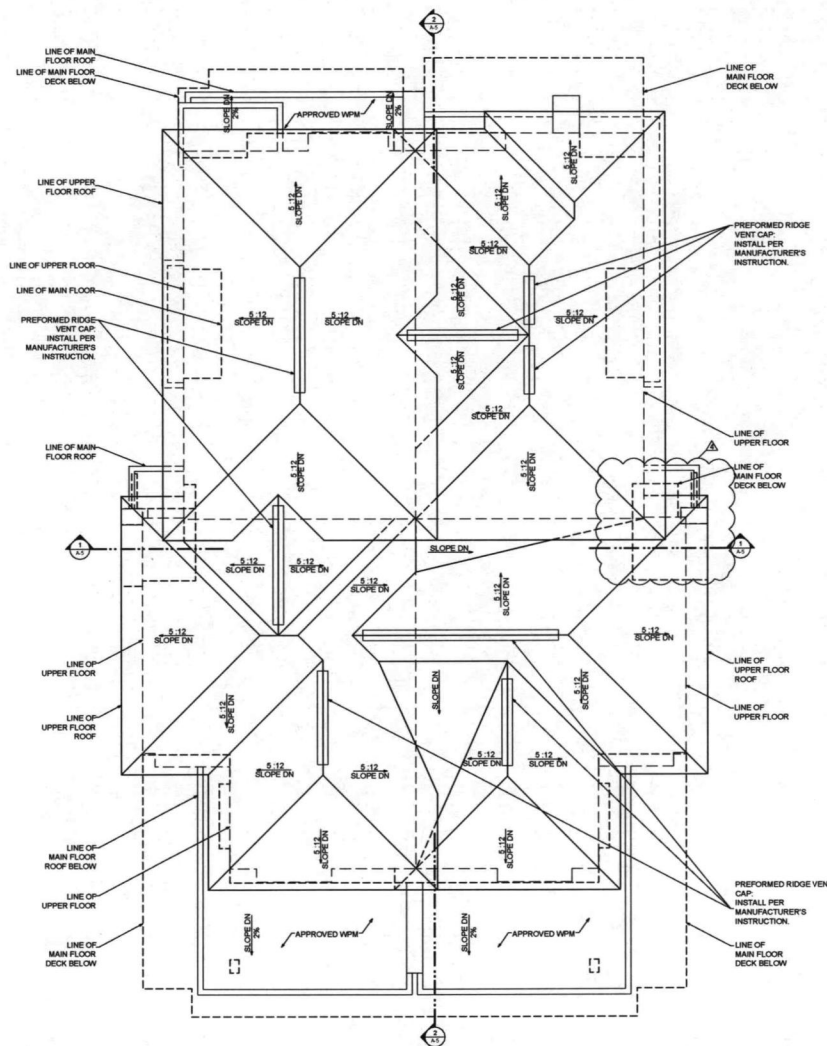
**Scale
AS SHOWN**

Drawing No.

A3



1 UPPER FLOOR PLAN
Scale: 3/16" = 1'-0"
UNIT 1 SF: 736 SF UNIT 2 SF: 759 SF
UNIT 3 SF: 745 SF UNIT 4 SF: 745 SF
TOTAL SF: 2985 SF



2 ROOF PLAN
Scale: 3/16" = 1'-0"

**DELESTRE
4 UNITS RESIDENCE**

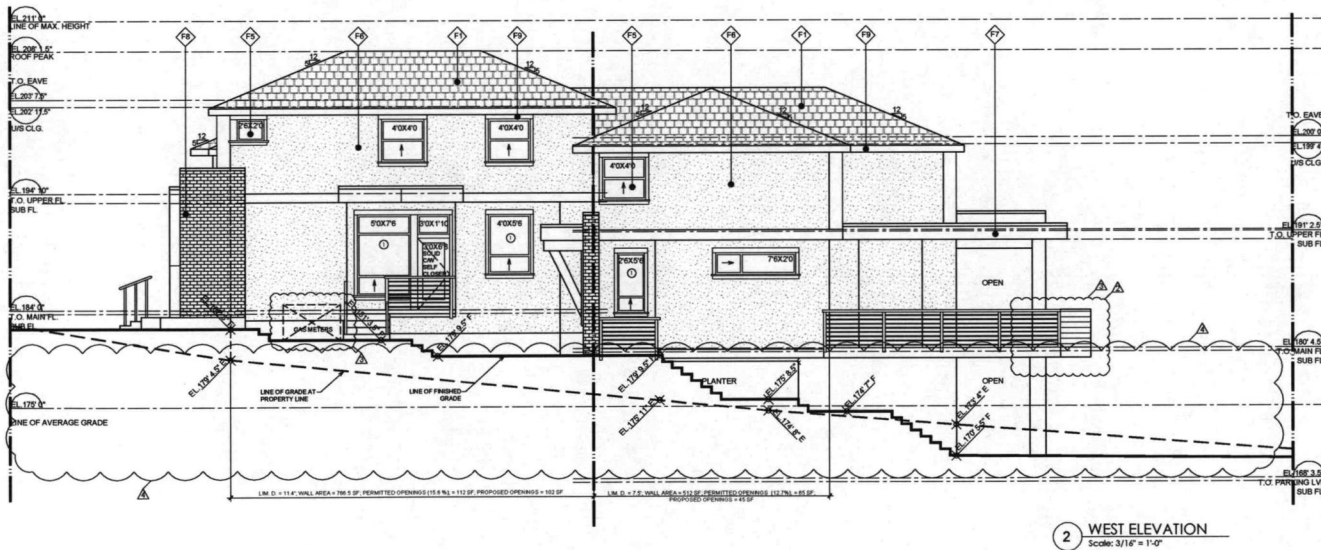
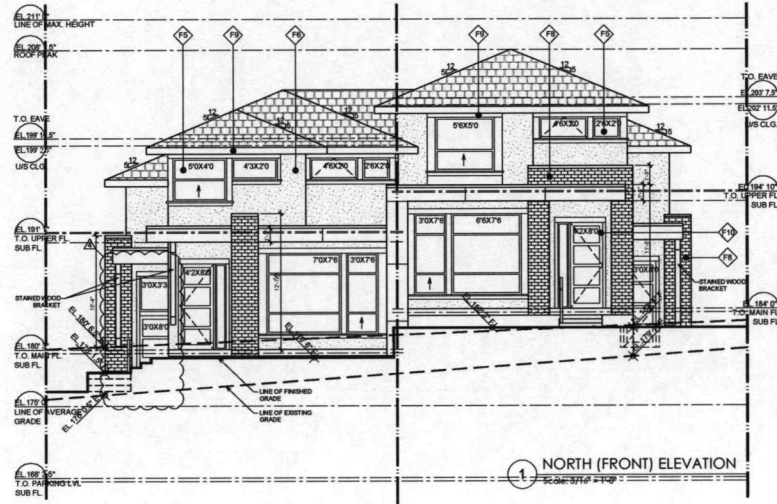
ADDRESS:

**1038 DELESTRE AVENUE
CITY OF COQUITLAM**

LEGAL DESCRIPTION:

LOT	3
BLOCK	22
DL	45
GROUP	1, NWD
PLAN	1481

P.I.D.: 012-240-842



MATERIALS & COLORS

- F1 ASPHALT SHINGLE ROOF:
(35 YEAR WARRANTY) MINI
DUAL BLACK (CAMBRIDGE KCO)
SHAKE PROFILE
- F2 VINYL SOFFIT:
COLOR: BM STANNINGTON
GRAY HC-170

- F3 METAL GUTTERS & DOWNPIPES:
BLACK (GENTER)
- F4 METAL RAILINGS:
CHARCOAL GRAY

- F5 WINDOWS:
BLACK VINYL

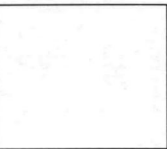
- F6 PAINT COLORS:
STUCCO CLADDING COLOR TO MATCH:
STONE DASH STUCCO, NATURAL
- F7 EXTERIOR CLADDING AND FASCIA AT FRONT:
LONGBOARD ALUMINUM CLADDING,
4" HORIZONTAL V GROOVE
COLOR: "LIGHT NATIONAL WALNUT" WOOD GRAIN FINISH

- F8 STANDARD BRICK:
COLOR: GLENVIEW "FLASHED BLACKSTONE SMOOTH"
- F9 WOOD TRIM & FASCIA COLOR:
TO MATCH BM # HC-168 "TENDALL CHARCOAL"

- F10 DOOR COLOR:
TO MATCH: BM #2120-20 "BLACKIRON"
- F11 FENCE COLOR:
STAIN TO MATCH: BM #HC-168 "TENDALL
CHARCOAL"

OPENINGS NOTE:
① OPENING PROTECTED BY WATERCURTAIN
PER ALTERNATE REPORT

No.	Date	Revision
1	12/12/18	ISSUED FOR DP
2	06/26/20	REVISED FOR DP
3	08/18/20	REVISED FOR DP
4	09/16/21	REVISED FOR DP



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Title

ELEVATIONS

Date
AUGUST 18TH, 2020

Scale

AS SHOWN

Drawing No.

A4.1

**DELESTRE
4 UNITS RESIDENCE**

ADDRESS:

**1038 DELESTRE AVENUE
CITY OF COQUITLAM**

LEGAL DESCRIPTION:

LOT 3
BLOCK 22
DL 45
GROUP 1, NWD
PLAN 1481

P.I.D.: 012-240-842

No.	Date	Revision
1	12/12/18	ISSUED FOR DP
2	06/28/20	REVISED FOR DP
3	08/18/20	REVISED FOR DP
4	03/16/21	REVISED FOR DP

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Title

ELEVATIONS

Date
AUGUST 18TH, 2020

Scale

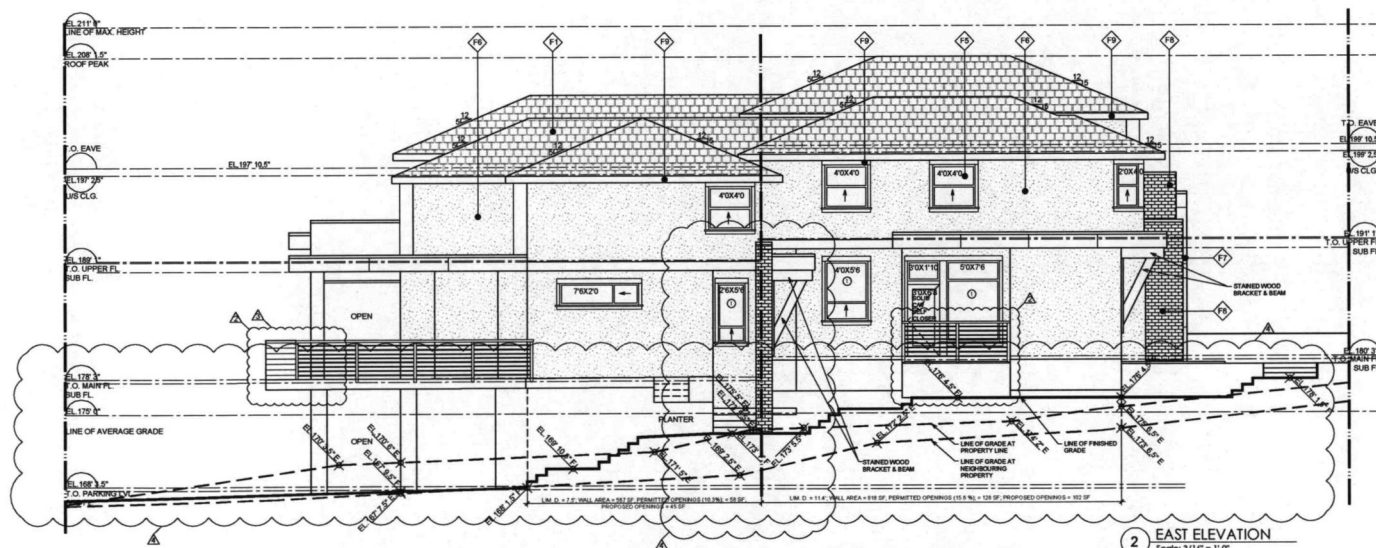
AS SHOWN

Drawing No.

A4.2



1 SOUTH (REAR) ELEVATION
Scale: 3/16" = 1'-0"



2 EAST ELEVATION
Scale: 3/16" = 1'-0"

MATERIALS & COLORS

- F1** ASPHALT SHINGLE ROOF:
35 YEAR WARRANTY MINI
DUAL BLACK (CAMBRIDGE W/O)
SHAKE PROFILE
- F2** VINYL SORTE:
COLOR: BM STANINGTON
GRAY HC-170

- F3** METAL GUTTERS & DOWNPIPES:
BLACK (CENTER)
- F4** METAL RAILINGS:
CHARCOAL GRAY

- F5** WINDOWS:
BLACK VINYL

- F6** STUCCO CLADDING COLOR TO MATCH:
STONE DASH STUCCO, NATURAL
- F7** EXTERIOR CLADDING AND FASCIA AT FRONT:
LONGBOARDED ALUMINUM CLADDING,
4" HORIZONTAL V GROOVE
COLOR: "LIGHT NATIONAL WALNUT" WOOD GRAIN FINISH

PAINT COLORS:

- F8** STANDARD BRICK:
COLOR: GLENVIEW "FLASHED BLACKSTONE SMOOTH"
- F9** WOOD TRIM & FASCIA COLOR:
TO MATCH: BM # HC-168 "KENDALL CHARCOAL"

- F10** DOOR COLOR:
TO MATCH: BM #2120-20 "BLACKIRON"

- F11** FENCE COLOR:
STAIN TO MATCH: BM #HC-168 "KENDALL
CHARCOAL"

OPENINGS NOTE:

- 1** OPENING PROTECTED BY WATERCURTAIN
PER ALTERNATE REPORT



VIEW LOOKING WEST (FROM DELESTRE AVENUE)



VIEW LOOKING WEST (FROM DELESTRE AVENUE)



VIEW LOOKING EAST (FROM LANE)

F1

P1

P2

P3

P4

P5

MATERIALS & COLORS

ASPHALT SHINGLE ROOF:
(35 YEAR WARRANTY MIN)
DUAL BLACK (CAMBRIDGE KO)
SHAKE PROFILE

VINYL SOFFIT:
COLOR: BM STANINGTON
GRAY HC-170

METAL GUTTERS & DOWNPIPES:
BLACK (GENTEK)

METAL RAILINGS:
COLOR: CHARCOAL GRAY

WINDOWS:
COLOR: BLACK VINYL

PAIN T COLORS:

P1. CLADDING COLOR TO MATCH:
STONE DASH STUCCO, NATURAL

P2. CLADDING AND FASCIA AT FRONT:
LONGBOARD ALUMINUM CLADDING,
4" HORIZONTAL V GROOVE
COLOR: "NATIONAL WALNUT" WOOD
GRAIN FINISH

P3. CLADDING: MANUFACTURED THIN BRICK
VENEER
COLOR: GLENGERY "FLASHED BLACKSTONE
SMOOTH"

P4. WOOD TRIM & FASCIA COLOR:
TO MATCH: BM # HC-168 "KENDALL CHARCOAL"

P5. DOOR COLOR:
TO MATCH: BM #2120-20 "BLACK IRON"

DELESTRE
4 UNITS RESIDENCE

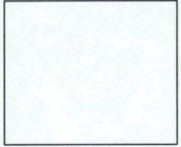
ADDRESS:
1038 DELESTRE AVENUE
CITY OF COQUITLAM

LEGAL DESCRIPTION:

LOT	3
BLOCK	22
DL	45
GROUP	1, NWD
PLAN	1481

P.I.D.: 012-240-842

No.	Date	Revision
1	12/10/18	ISSUED FOR RF



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Title
3D VIEWS

Date
DECEMBER 12TH, 2019

Scale
AS SHOWN

Drawing No.

A0.0

Clerks Dept

From: Richard Tennant [REDACTED]
Sent: Monday, November 15, 2021 11:57 AM
To: Clerks Dept
Subject: Address Correction/Re-send of Comments - Application to Rezone - 1038 Delestre Ave

ATTN Clerks @ Coquitlam.ca

Re; PROJ 20-11

We would like to attend and to be put on the speakers list for tonight's City Council meeting/review of the rezoning application for 1038 Delestre Ave .

Our comments on this application are as follows;

While we support the application we believe that it could have a significant adverse impact on our subdivision with regard to our project offsite service costs.

We also believe our costs could increase due to delays that would result if we wait until these services are integrated with the construction of the fourplex.

Therefore, we respectfully request that Council award the subdivision PID for our new second lot as a condition of any approval to proceed with the rezoning. The award of the PID will allow us to sell the lot as is and/or conditional only to the completion of the required services (rather than attempt to sell the lot on a presale subject to award of PID).

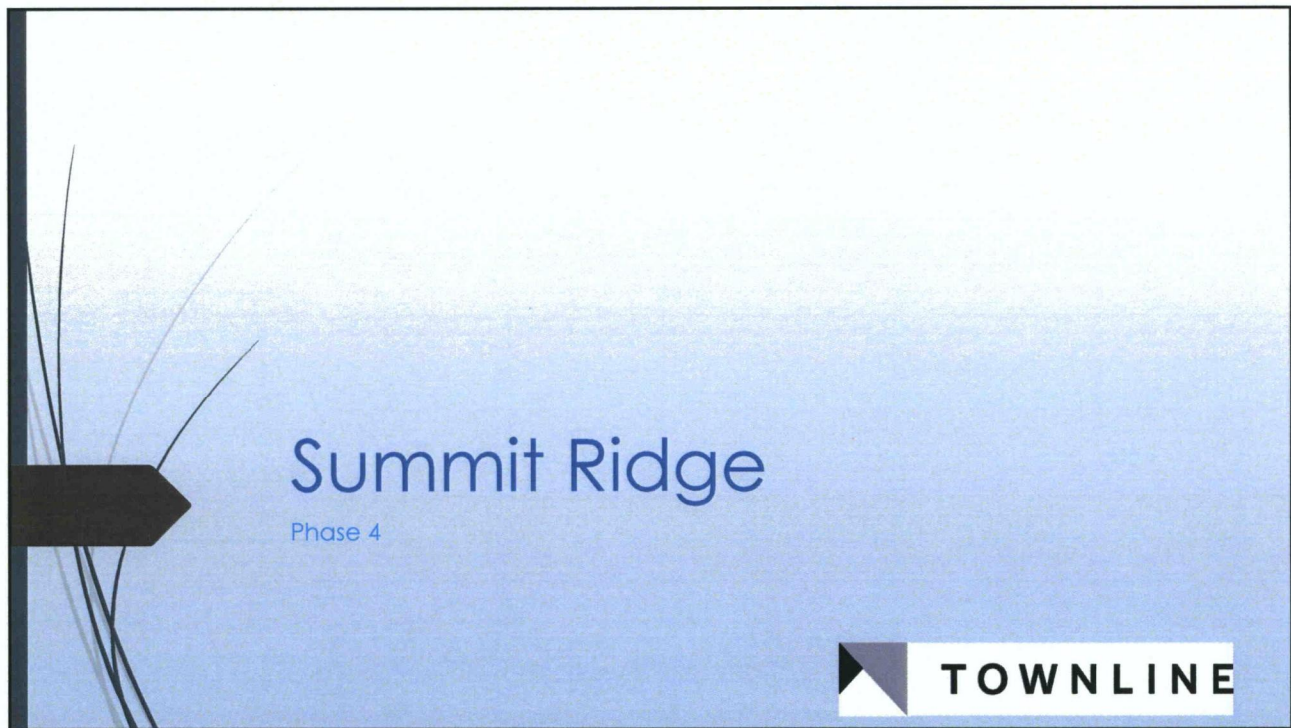
Furthermore, we request that Council give consideration to allowing us to increase density on our second lot such that it would mirror and/or exceed the density being proposed for 1038 whereby we would be permitted to build a back-to-back duplex on the lot (as per the civil design submitted with our earlier attempt to subdivide the property)

Thank you

Richard Tennant/Mercedes Flores
Homeowners
1032 Delestre Ave
V3K 2H2
[REDACTED]

- ☒ Copies to Mayor & Council
- ☐ Tabled Item for Council Meeting
- ☐ Correspondence Item for Council Meeting
- ☒ For Information Only
- ☐ For Response Only _____
- ☒ Copies to CM, OCM, EMPD, DDS, P3, PM, FC

Item 3 (1525 and 1541 Dayton Street) - Applicant Presentation



A presentation slide titled "Temporary Internal Water Pumps". The slide features a blue gradient background with a black arrow pointing right on the left side. The title is in a large, dark blue font. Below the title is a bulleted list of seven points, each preceded by a dark blue square bullet. The text is in a dark blue, sans-serif font.

Temporary Internal Water Pumps

- Will cost the builders less than \$1,500
- Even without the pumps, all homes will have full water service and will meet fire protection standards, plus fire hydrants will meet municipal standards
- The issue is that some homeowners may want stronger pressure out of their upstairs shower heads
- Local plumbers have installed these pumps in numerous Westwood Plateau homes where owners are dissatisfied with their water pressure
- These pumps are so rugged and dependable that they can be used as the sole source of water from a well. Easier to operate and maintain than most appliances and security systems. Described as "Plug & Play" systems.
- The pumps will be in the basement and will be equipped with a bypass water line so decommissioning the pumps is as easy as turning off the switch and opening the valve in the bypass line.

3.5 Installation examples

Fittings, hoses and valves are not supplied with the pump.

3.6.1 Mains water pressure boosting

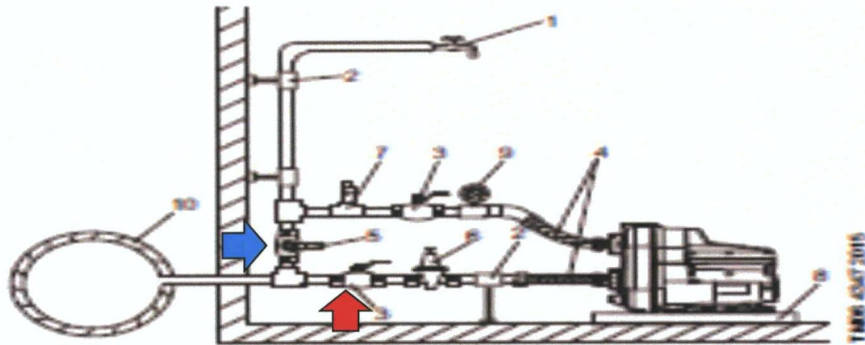


Fig. 4 Mains water pressure boosting

Clerks Dept

From: Liupei Lu [REDACTED]
Sent: November 12, 2021 12:50 PM
To: Clerks Dept
Subject: PROJ18-134

- ☒ Copies to Mayor & Council
☐ Tabled Item for Council Meeting
☐ Correspondence Item for Council Meeting
☒ For Information Only

☐ For Response Only
☒ Copies To GM/D. Dr. Davis, Dev. Sc. Eng. Man, File M. Man, v ^{Plan 3,} _{File Copy}

Hi,

As a resident lives in 3428 Hamber Court, Coquitlam, I am strongly opposed to amend the citywide official community plan relating to the properties located at 1525 & 1541 Dayton Street.

I think the development reserve shall be kept. There are so many houses were built in Burke Mountain in last ten years.

The development reserve has become rare and rare and the Forest has been destroyed severely.

I hope the development reserve remain unchanged in 1525 & 1541 Dayton Street. Everyone has its own responsibility to protect our environment and Forest and Creek. I don't want Burke Mountain is crowded with numerous houses everywhere and certain forest shall be kept to create the harmony between Nature and human being.

3428 Hamber Court, Coquitlam BC