

# MACKIN YARD BALL DIAMOND RENEWAL

## Issued for Tender

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**VDZ+A**  
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### Sheet List Table - Landscape

Sheet Number	Sheet Title
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100-9181 Church St 102-355 Kingsway  
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3	RMK	Issued for 90% Review	2025-04-20
2	RMK	Issued for 50% Review	2025-04-02
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Project:	MACKIN YARD BALL DIAMOND RENEWAL
Location:	
1046 BRUNETTE AVENUE	
COQUITLAM, B.C.	

Drawn:	Stamp:
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PP No.: 1001970	

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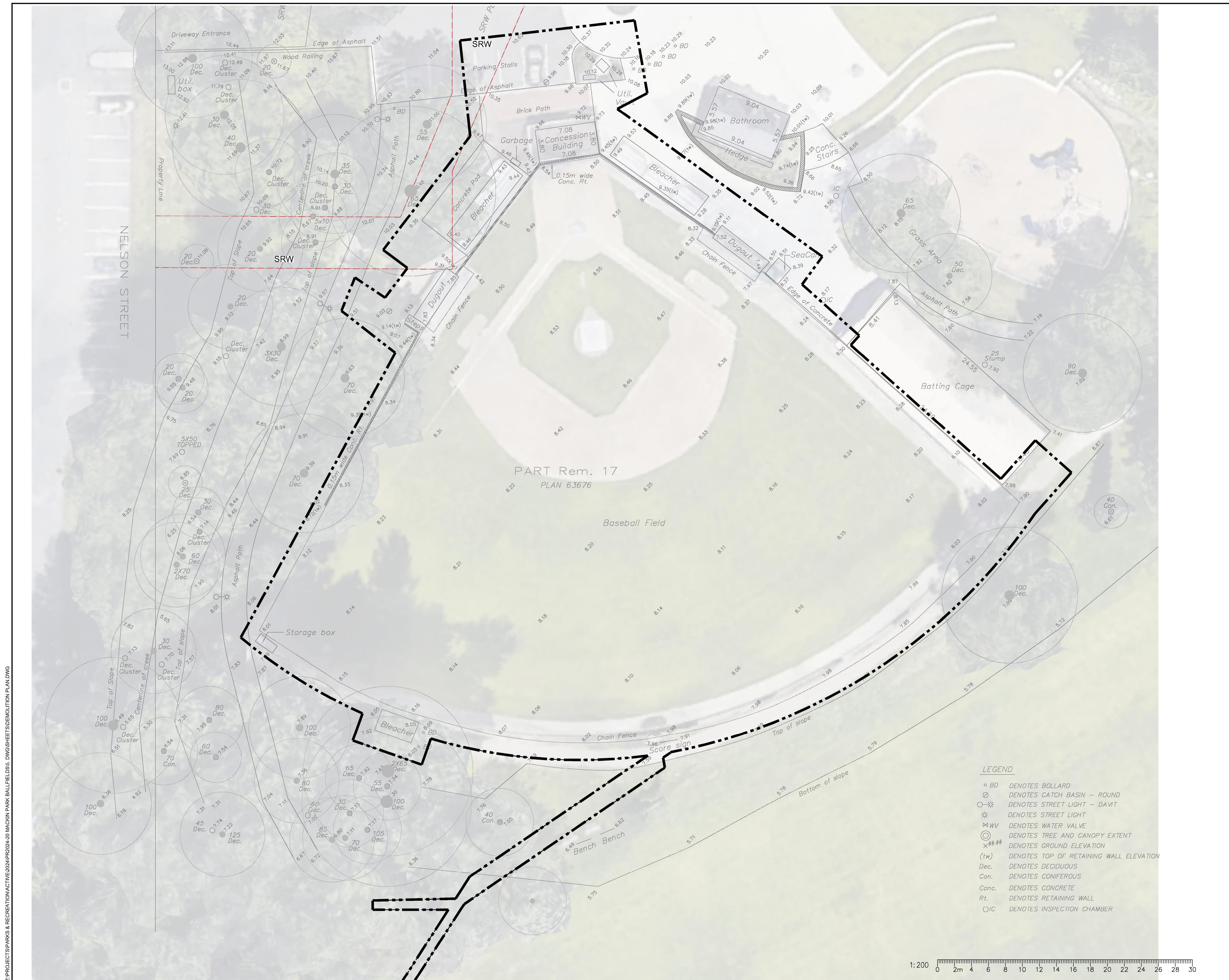
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EXISTING CONDITIONS SURVEY

PR2024-20

L-01.1

Drawing Title:

VDZ Project #:

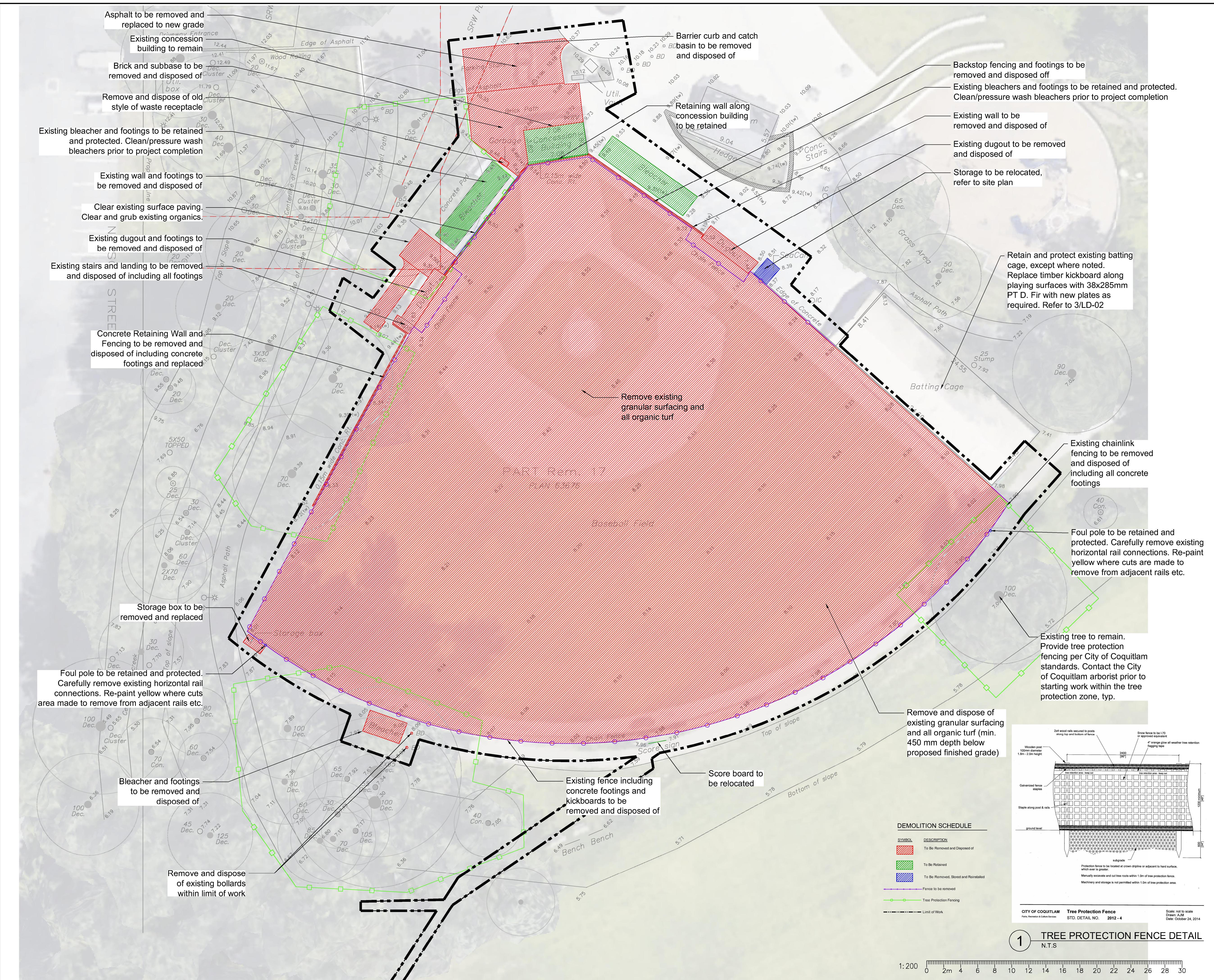
## DEMOLITION PLAN

Drawing Title:

PR2024-20

Drawing #:

L-01.2





## REFERENCE NOTES SCHEDULE MATERIALS-SURFACES

SYMBOL	CODE	DESCRIPTION	DETAIL
<b>Hardscape</b>			
	H-101	CONCRETE PAVING - PEDESTRIAN GRADE- WITH EXPANSION JOINTS AND SAWCUT CONTROL JOINTS	6/LD-04
	H-102	CONCRETE EDDGING - FLUSH - 300MM WIDE	8/LD-04
	H-121	ASPHALT PAVING - PEDESTRIAN GRADE	1/LD-05
	H-131	STONEDUST SURFACING - 3MM MINUS	2/LD-04
	H-141	SYNTHETIC TURF - GRASS COLOUR	1/LD-04
	H-142	SYNTHETIC TURF - CLAY COLOUR	1/LD-04
	H-143	CONCRETE EDDGING - ATF TRANSITION (BELOW GRADE) - 300MM WIDE	5/LD-04
	H-144	GRAVEL - EXISTING TO REMAIN	
	H-145	PARKING LOT ASPHALT, REFER TO CIVIL	
	S-101	TURF - NATURAL - SODDED	
<b>SITE AMENITIES</b>			
	SA-101	KICK BOARD - WOOD - REPLACE EXISTING	3/LD-02
	SA-121	BASEBALL BULLPEN PITCHING MOUND - MOVABLE	4/LD-05

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RENEWAL

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1046 BRUNETTE AVENUE  
COQUITLAM, B.C.

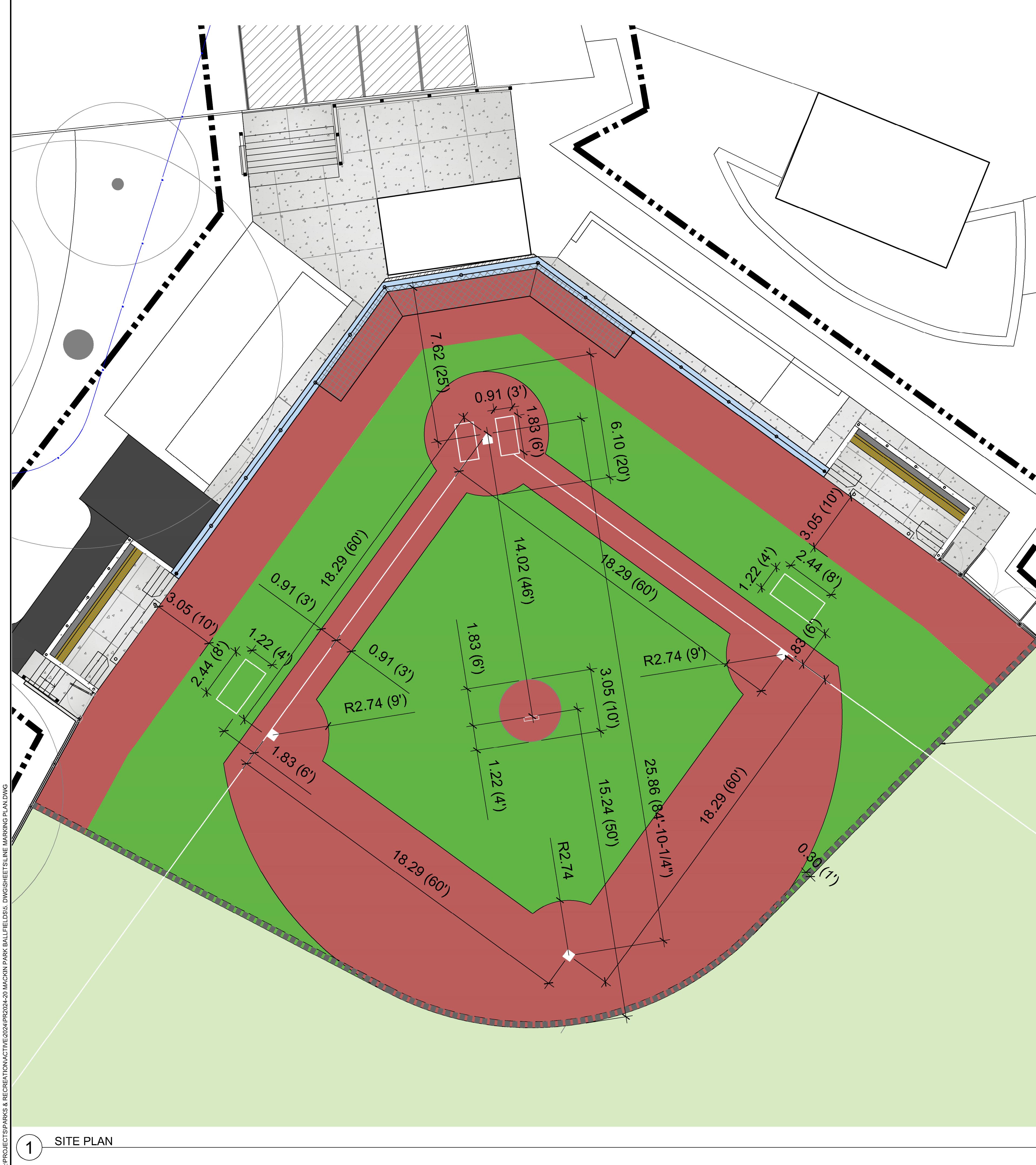
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## LINE MARKING PLAN

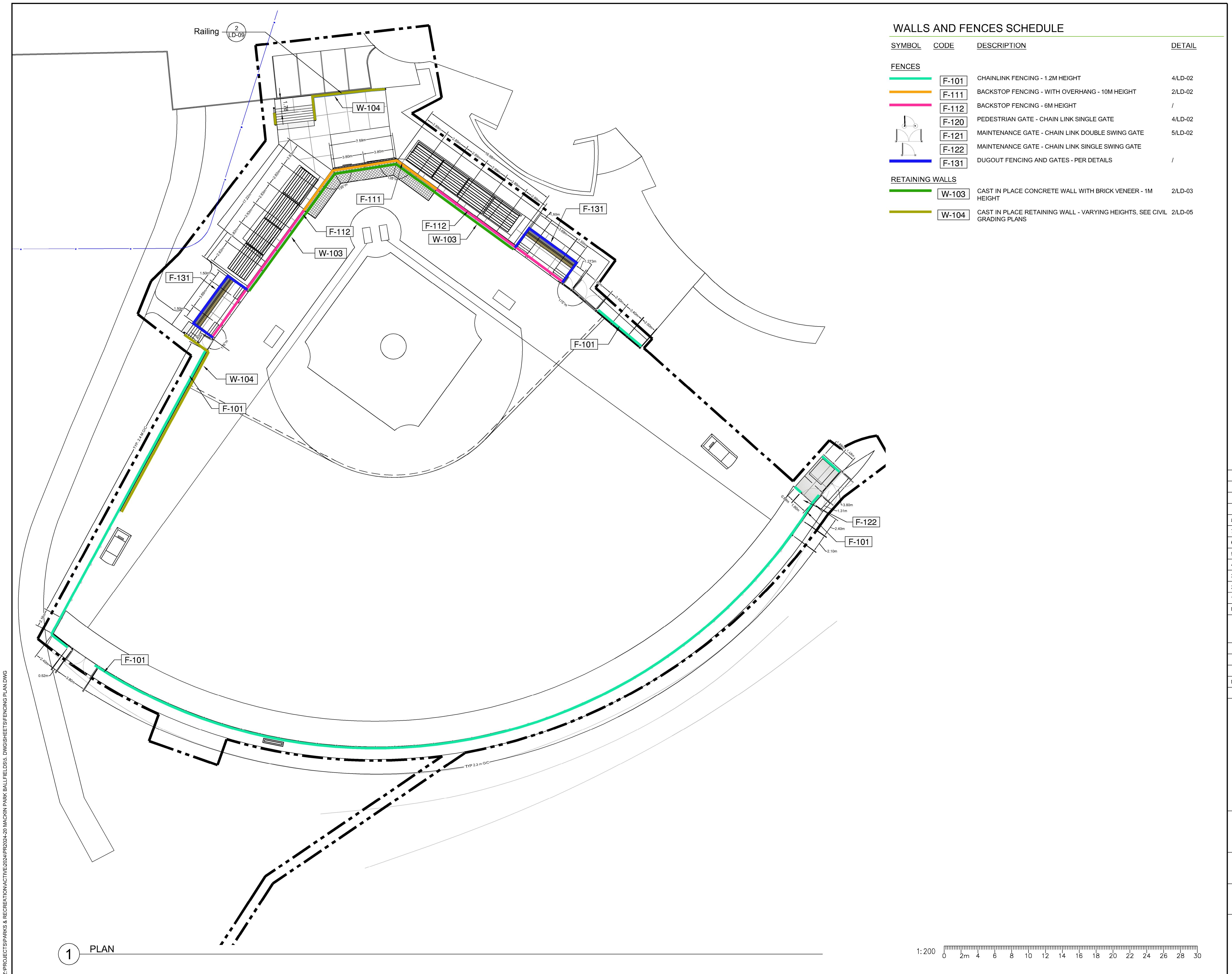
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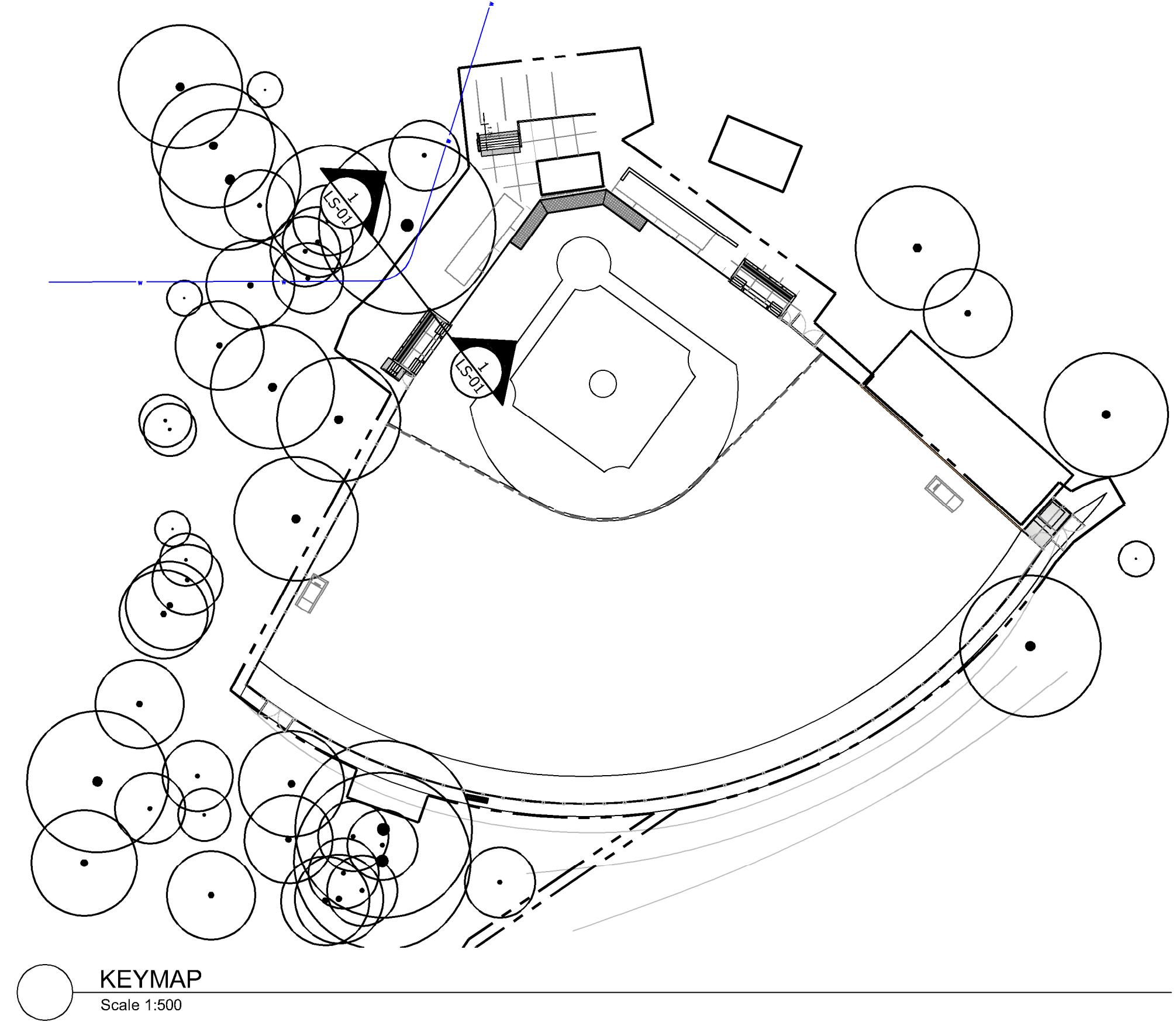
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Drawing Title:



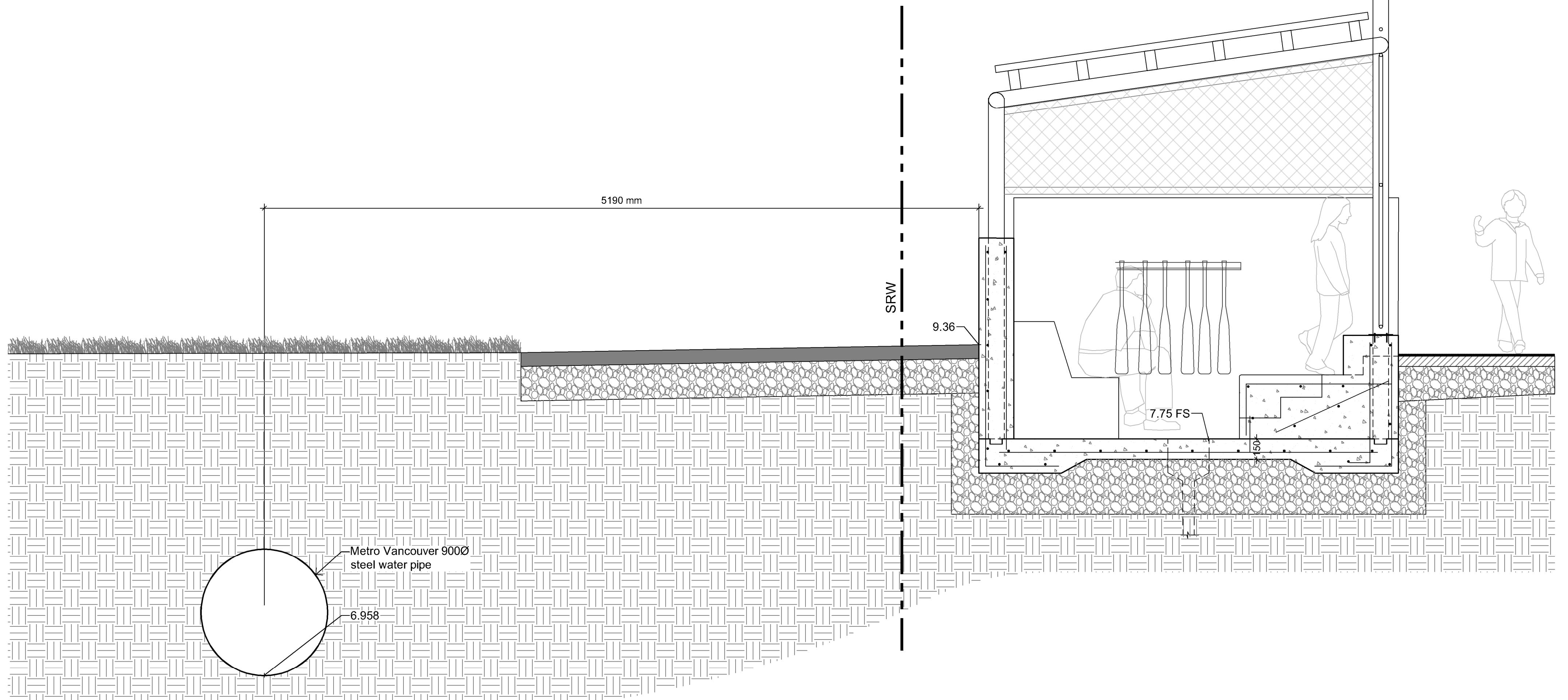






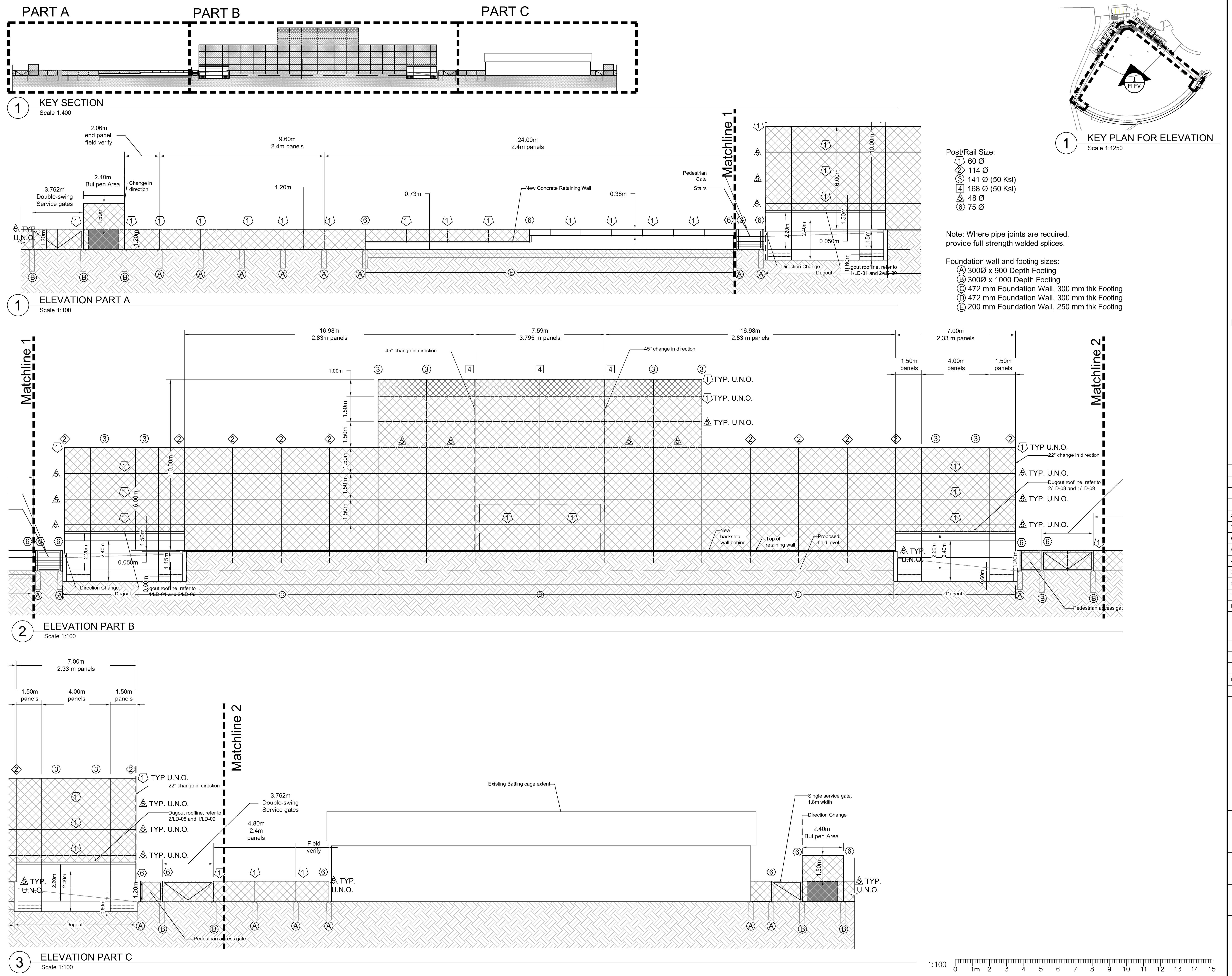
KEYMAP  
Scale 1:500

Key Map (NTS)

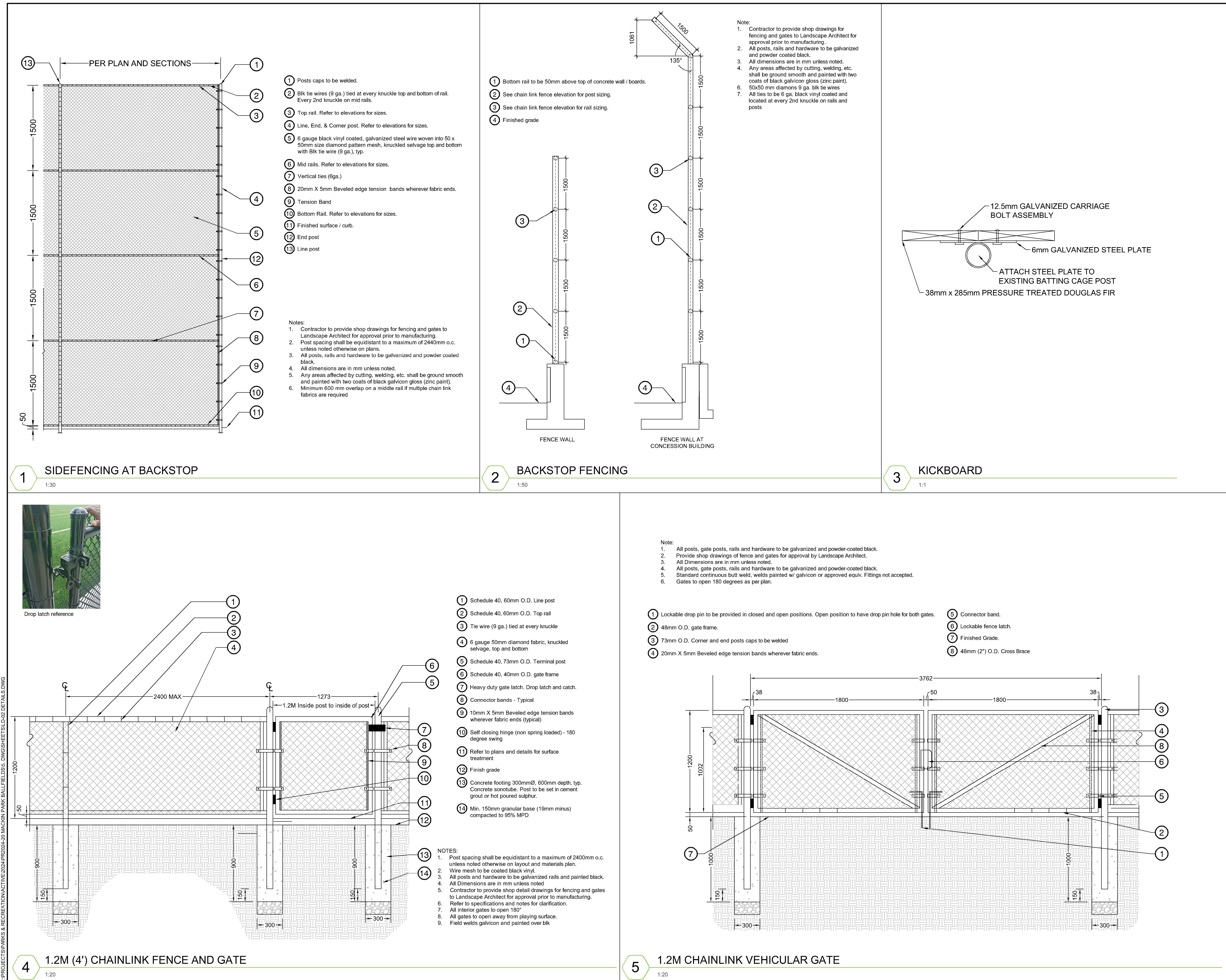


1 SECTION SHOWING WATER MAIN AND DUGOUT PROXIMITY  
Scale 1:20

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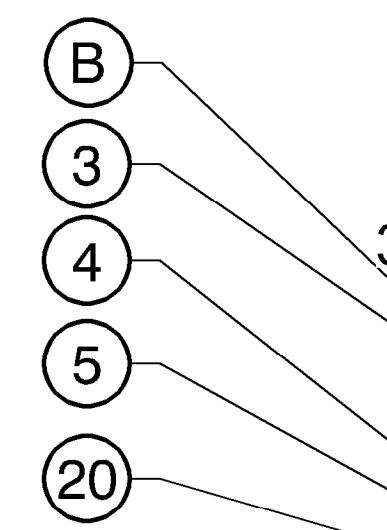


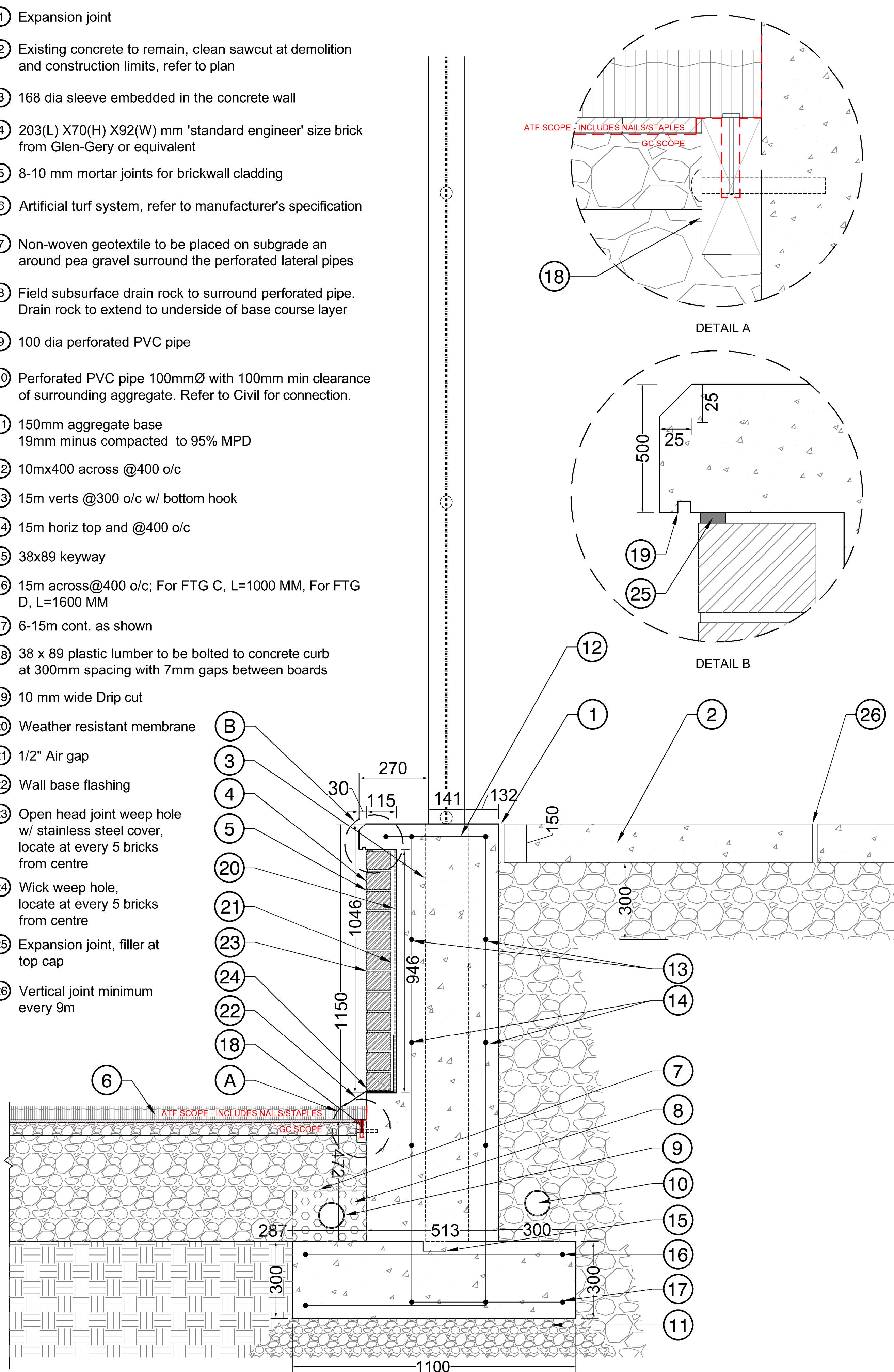
Z:\PROJECTS\SPARKS & RECREATION\ACTIVE\2024\PR2024-20 MACKIN PARK BALLFIELDS5.DWG/SHEETS\LD-01 DETAILS.DWG



Z:\PROJECTS\PARKS & RECREATION\ACTIVE\2024\PR2024-20 MACKIN PARK BALLFIELDS5. DWG(SHEETS\LD-03 DETAILS.DWG

- ① Expansion joint
- ② Existing concrete to remain, clean sawcut at demolition and construction limits, refer to plan
- ③ 168 dia sleeve embedded in the concrete wall
- ④ 203(L) X70(H) X92(W) mm 'standard engineer' size brick from Glen-Gery or equivalent
- ⑤ 8-10 mm mortar joints for brickwall cladding
- ⑥ Artificial turf system, refer to manufacturer's specification
- ⑦ Non-woven geotextile to be placed on subgrade and around pea gravel surround the perforated lateral pipes
- ⑧ Field subsurface drain rock to surround perforated pipe. Drain rock to extend to underside of base course layer
- ⑨ 100 dia perforated PVC pipe
- ⑩ Perforated PVC pipe 100mmØ with 100mm min clearance of surrounding aggregate. Refer to Civil for connection.
- ⑪ 150mm aggregate base  
19mm minus compacted to 95% MPD
- ⑫ 10mx400 across @400 o/c
- ⑬ 15m verts @300 o/c w/ bottom hook
- ⑭ 15m horiz top and @400 o/c
- ⑮ 38x89 keyway
- ⑯ 15m across @400 o/c; For FTG C, L=1000 MM, For FTG D, L=1600 MM
- ⑰ 6-15m cont. as shown
- ⑱ 38 x 89 plastic lumber to be bolted to concrete curb at 300mm spacing with 7mm gaps between boards
- ⑲ 10 mm wide Drip cut
- ⑳ Weather resistant membrane
- ㉑ 1/2" Air gap
- ㉒ Wall base flashing
- ㉓ Open head joint weep hole w/ stainless steel cover, locate at every 5 bricks from centre
- ㉔ Wick weep hole, locate at every 5 bricks from centre
- ㉕ Expansion joint, filler at top cap
- ㉖ Vertical joint minimum every 9m



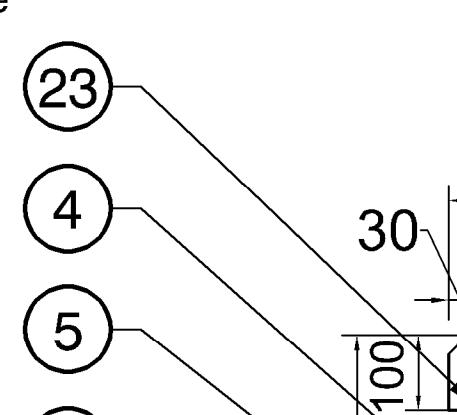


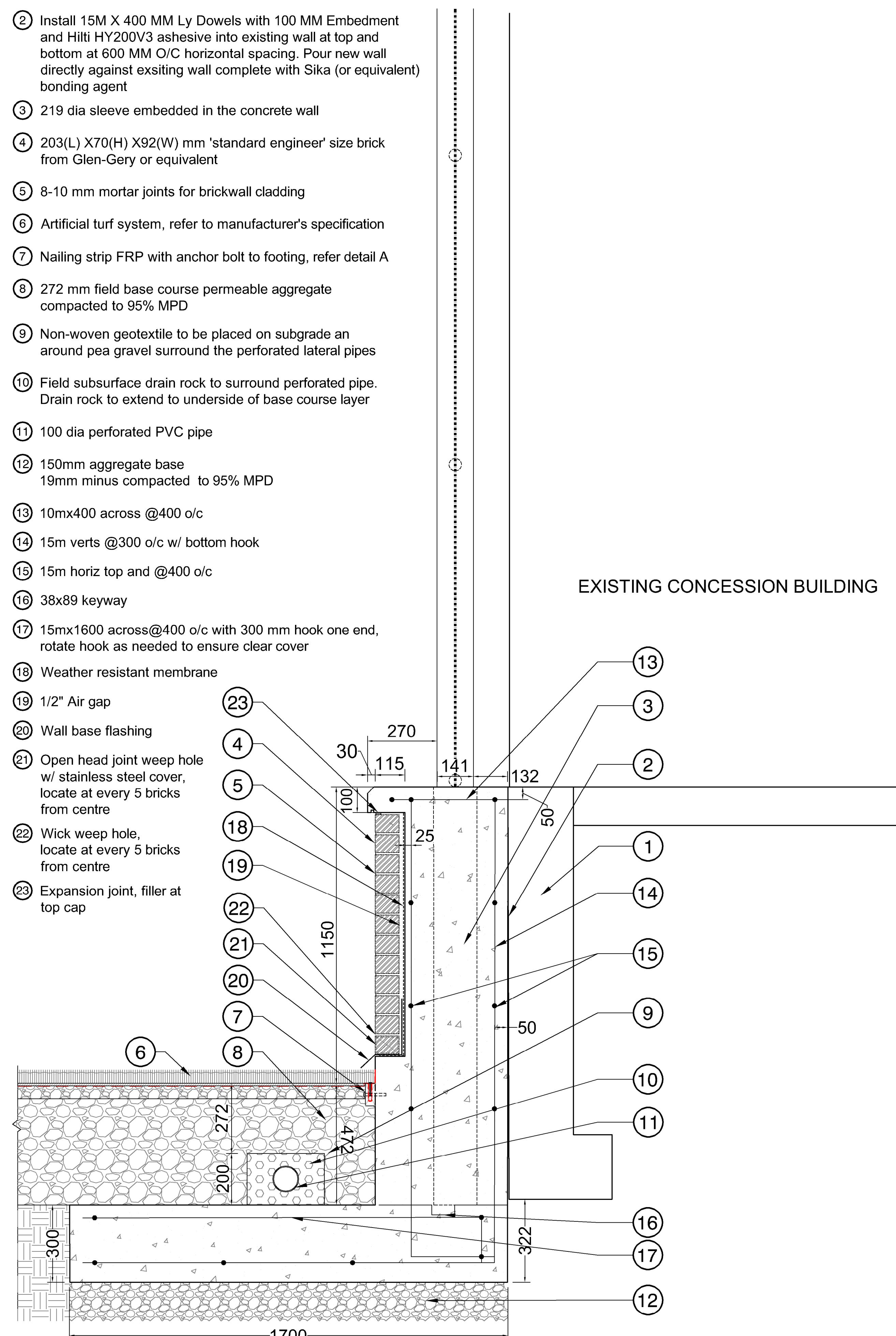
Note: When installing post, fully pack gap in sleeve with non-shrink grout for full height.

PROJECTS 1 FENCE WALL DETAIL

1

- 1 Existing concrete
- 2 Install 15M X 400 MM Ly Dowels with 100 MM Embedment and Hilti HY200V3 adhesive into existing wall at top and bottom at 600 MM O/C horizontal spacing. Pour new wall directly against existing wall complete with Sika (or equivalent) bonding agent
- 3 219 dia sleeve embedded in the concrete wall
- 4 203(L) X70(H) X92(W) mm 'standard engineer' size brick from Glen-Gery or equivalent
- 5 8-10 mm mortar joints for brickwall cladding
- 6 Artificial turf system, refer to manufacturer's specification
- 7 Nailing strip FRP with anchor bolt to footing, refer detail A
- 8 272 mm field base course permeable aggregate compacted to 95% MPD
- 9 Non-woven geotextile to be placed on subgrade and around pea gravel surround the perforated lateral pipes
- 10 Field subsurface drain rock to surround perforated pipe. Drain rock to extend to underside of base course layer
- 11 100 dia perforated PVC pipe
- 12 150mm aggregate base  
19mm minus compacted to 95% MPD
- 13 10mx400 across @400 o/c
- 14 15m verts @300 o/c w/ bottom hook
- 15 15m horiz top and @400 o/c
- 16 38x89 keyway
- 17 15mx1600 across @400 o/c with 300 mm hook one end, rotate hook as needed to ensure clear cover
- 18 Weather resistant membrane
- 19 1/2" Air gap
- 20 Wall base flashing
- 21 Open head joint weep hole w/ stainless steel cover, locate at every 5 bricks from centre
- 22 Wick weep hole, locate at every 5 bricks from centre
- 23 Expansion joint, filler at top cap





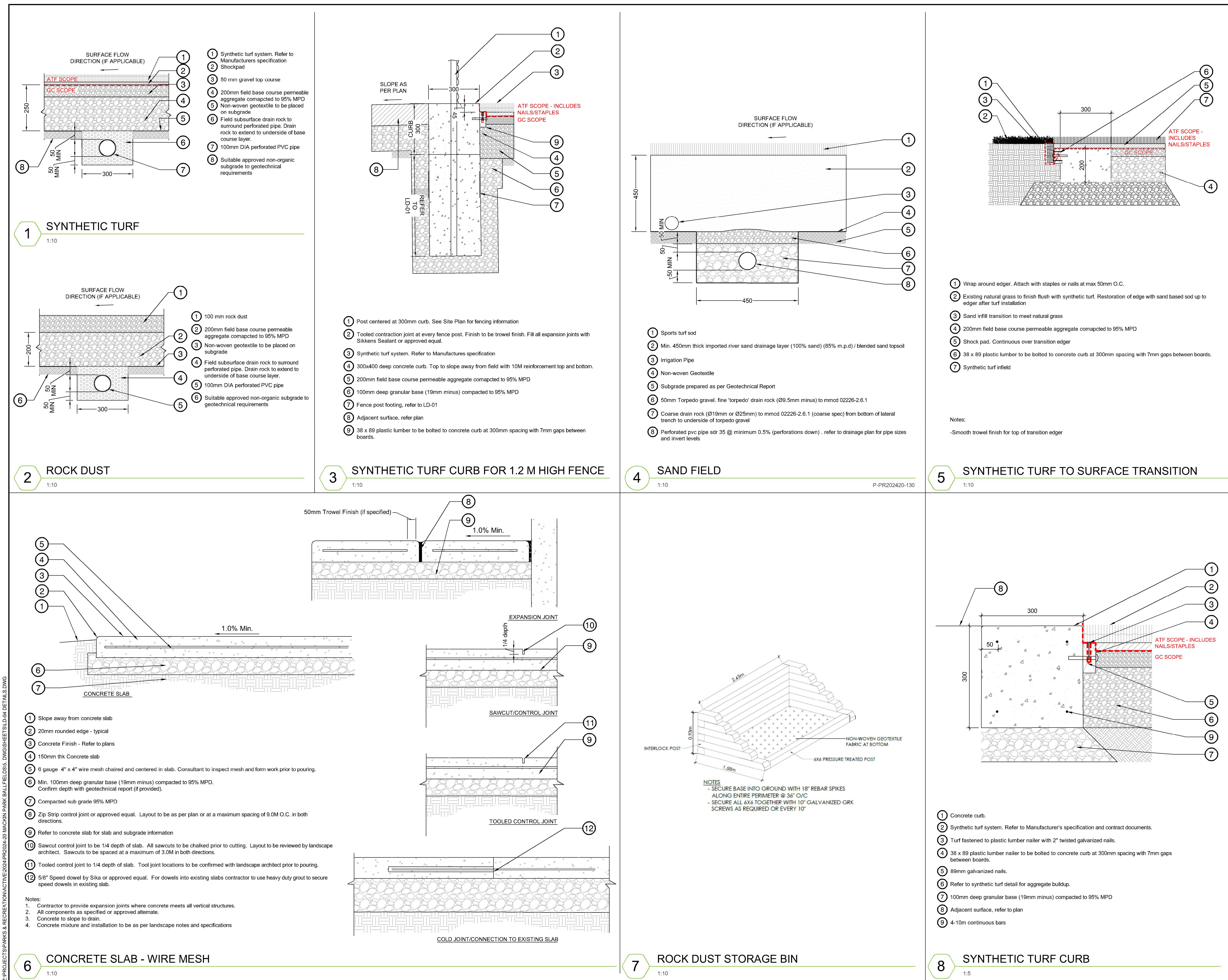
**Note: When installing post, fully pack gap in sleeve with non-shrink grout for full height**

## 2 FENCE WALL WITH EXISTING WALL

2

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<p><b>Location:</b>  <b>1046 BRUNETTE AVENUE</b>  <b>COQUITLAM, B.C.</b></p>				
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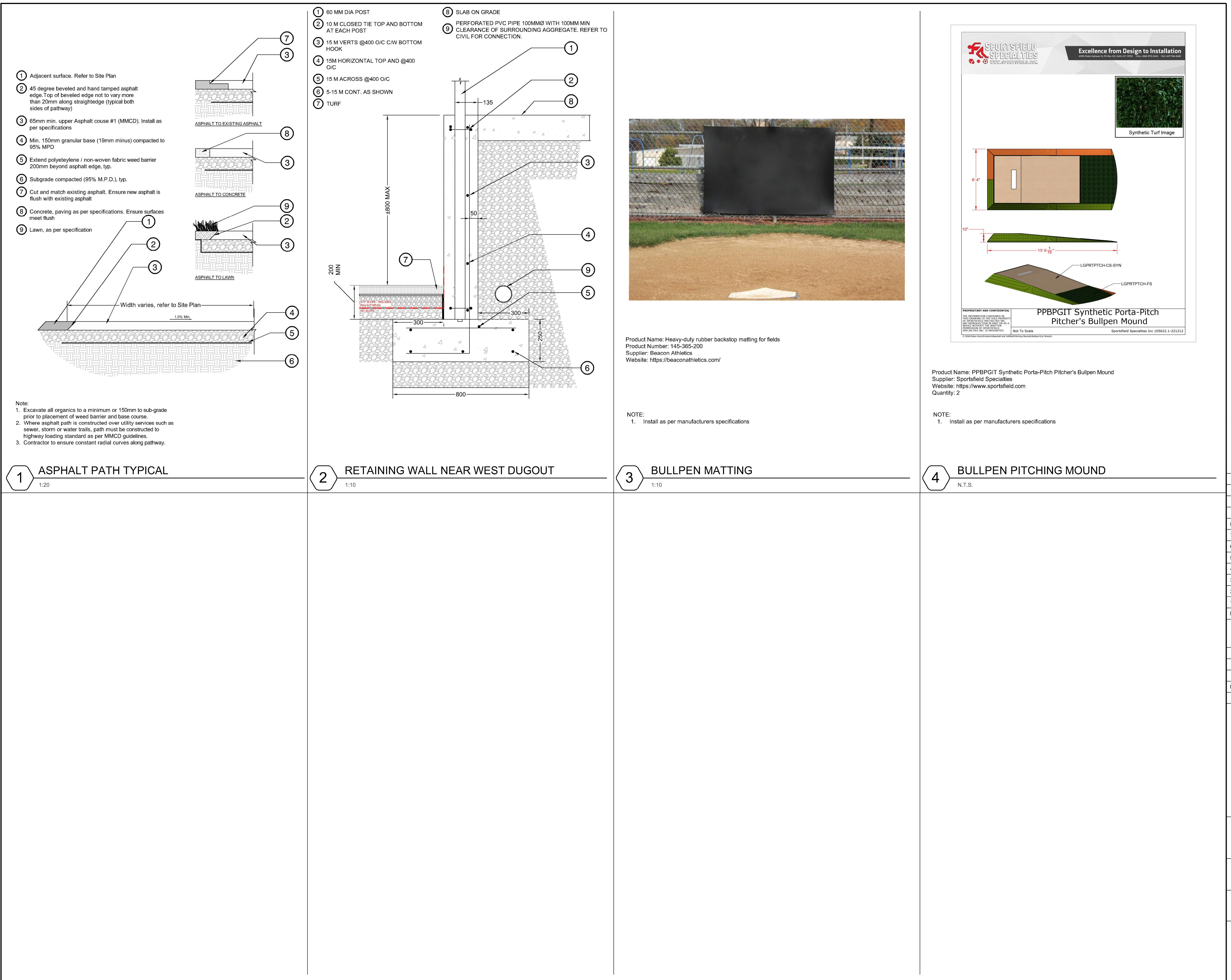


# PR2024-20 DETAILS

LD-05

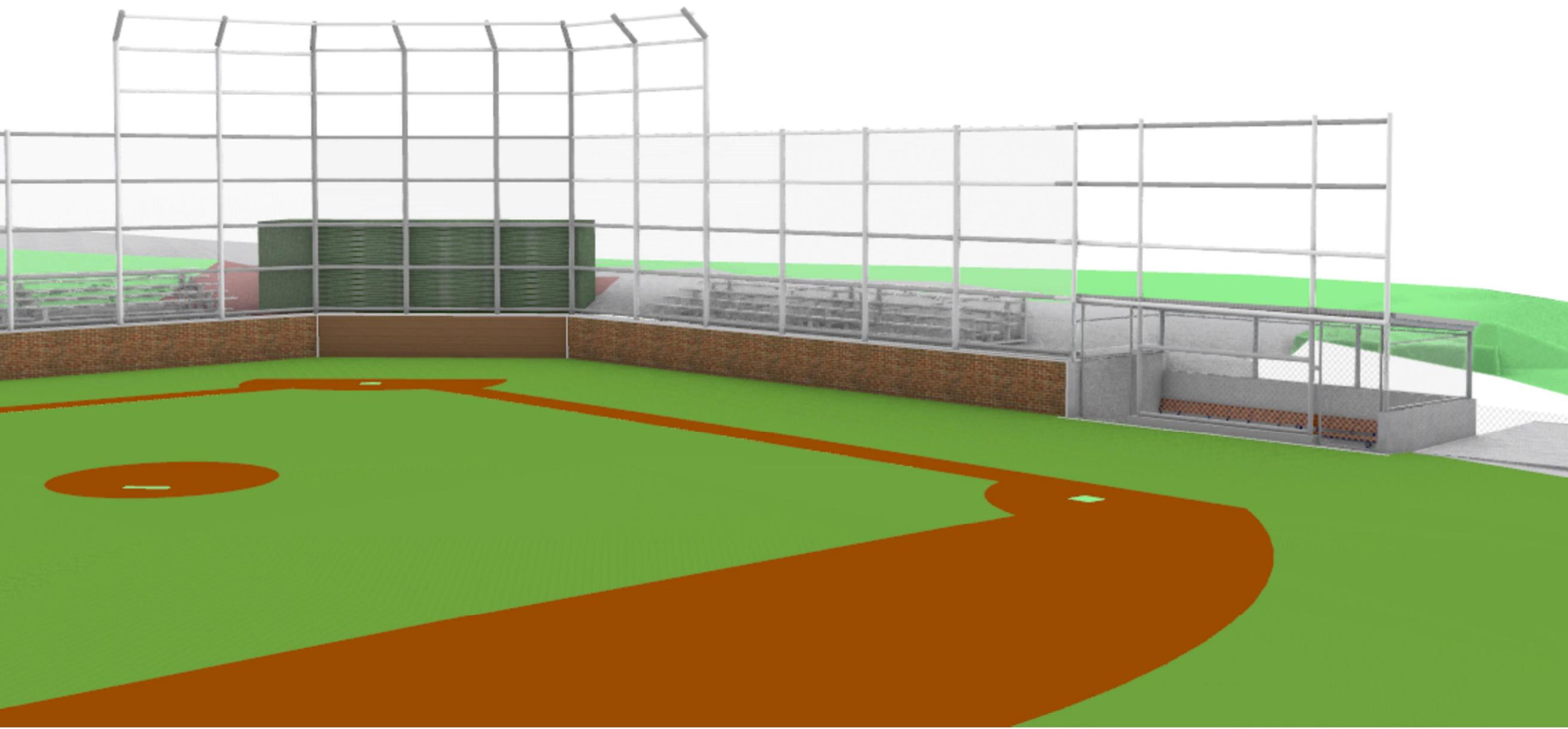
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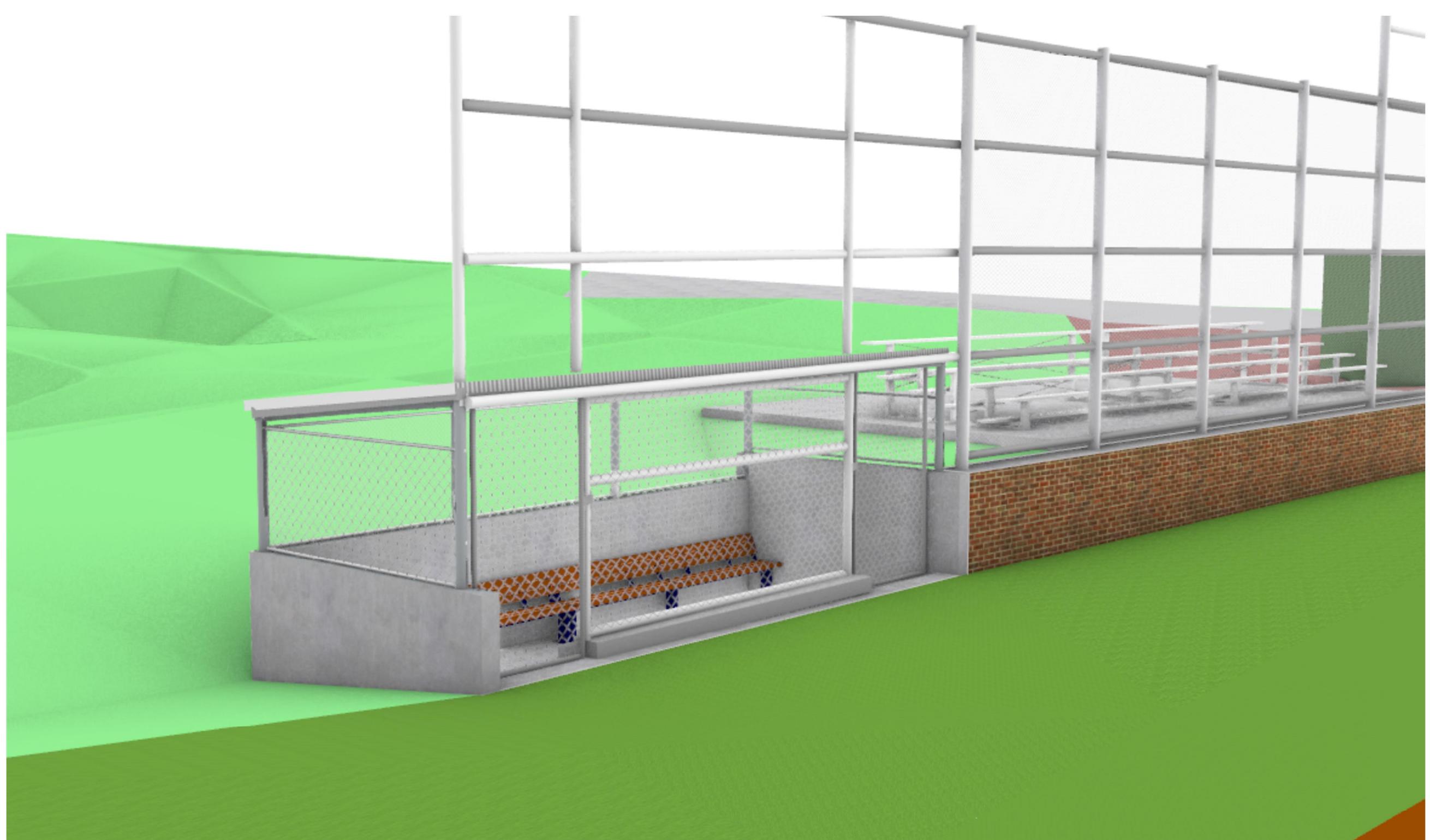




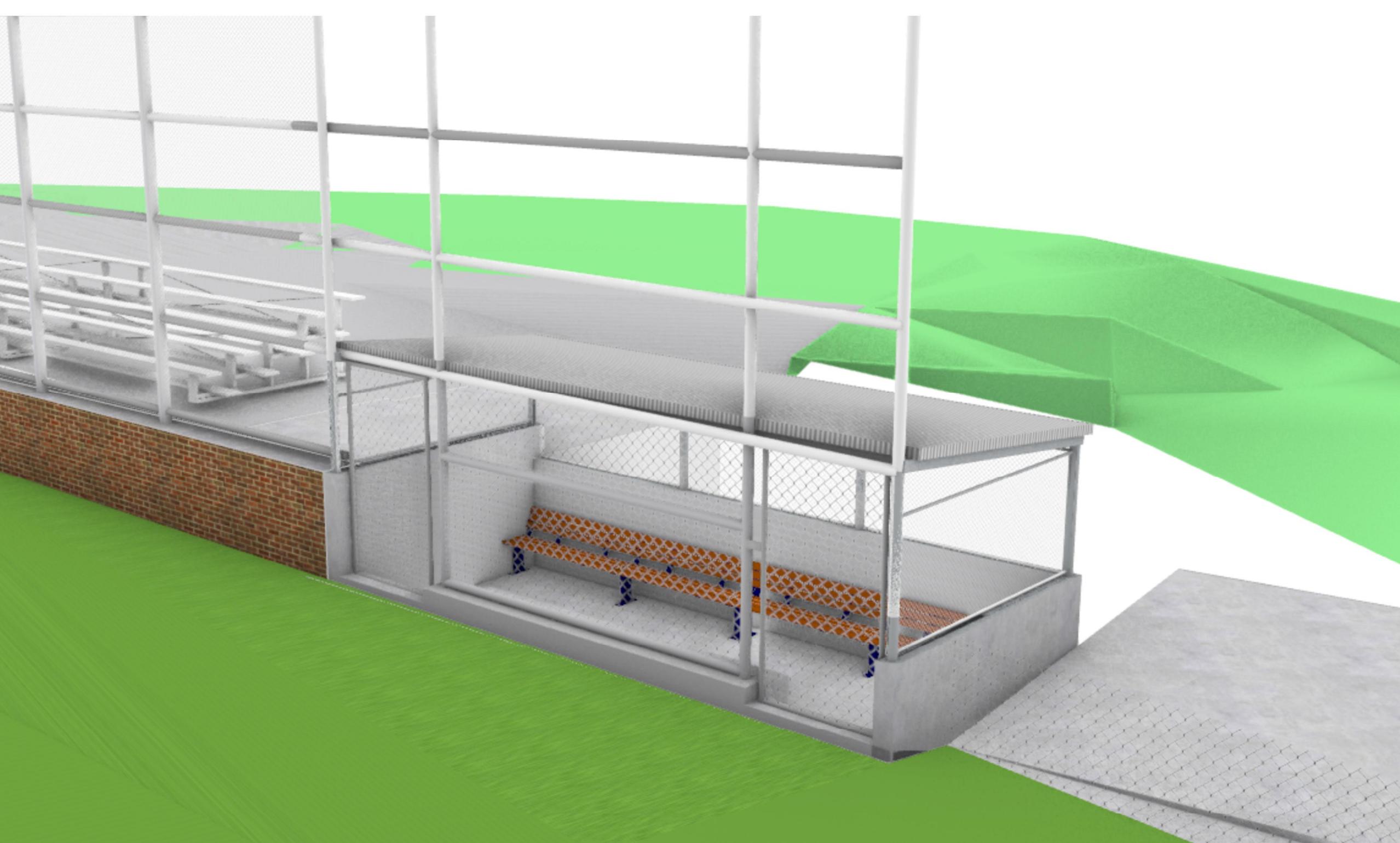
EAST DUGOUT CLOSE VIEW



EAST DUGOUT LARGER VIEW



EAST DUGOUT BIRD'S EYE VIEW



WEST DUGOUT

Key Map (NTS)

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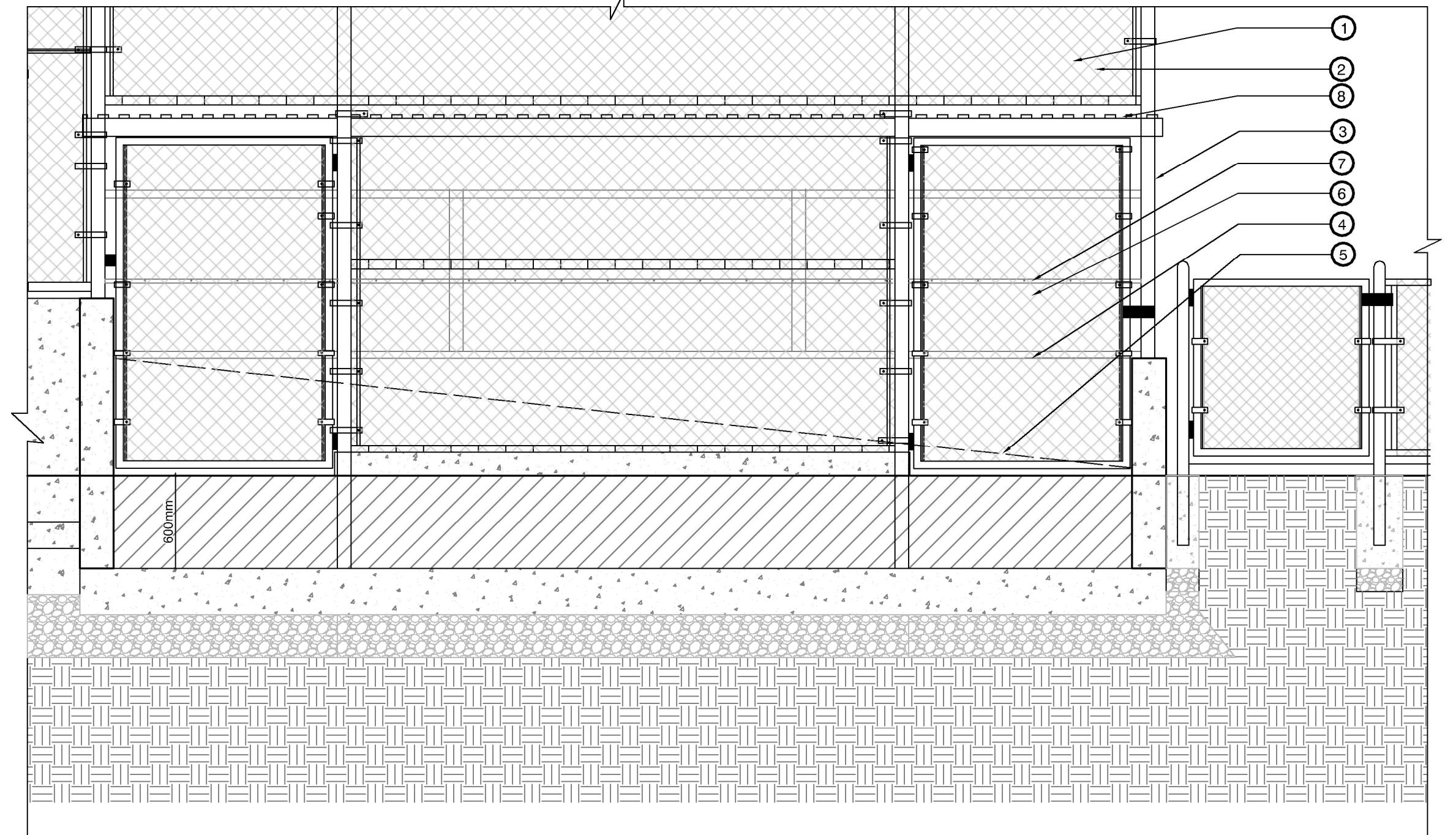
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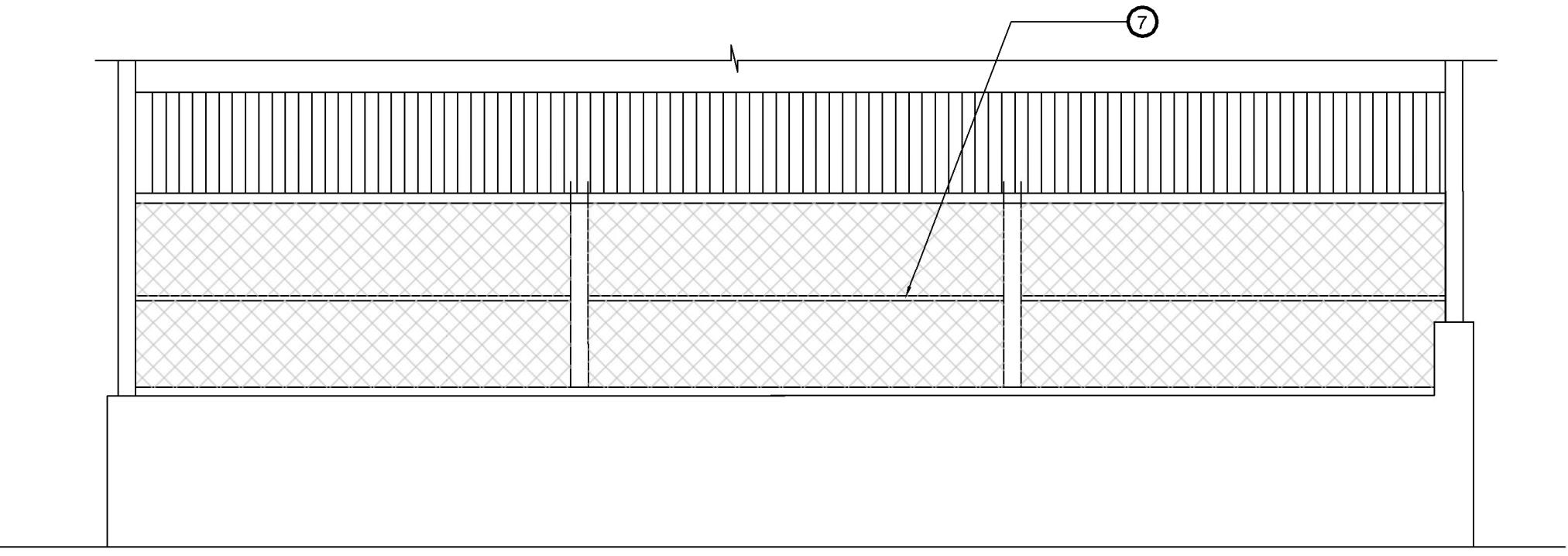
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1 EAST DUGOUT ELEVATION/SECTION

1:30



EAST DUGOUT ELEVATION/SECTION

- ① Align roof with 2 x 2.4m width chainlink panels
- ② Corrugated aluminum roofing
- ③ Metal pipe and chainlink back and sides of dugout
- ④ Concrete structure
- ⑤ Adjacent grade varies 9.11 at north end, 8.51 at south end. see survey and civil plans
- ⑥ Chain link panels with frame in elevation
- ⑦ Metal strip with hooks
- ⑧ 1400x2200 mm size gate with lockable latch

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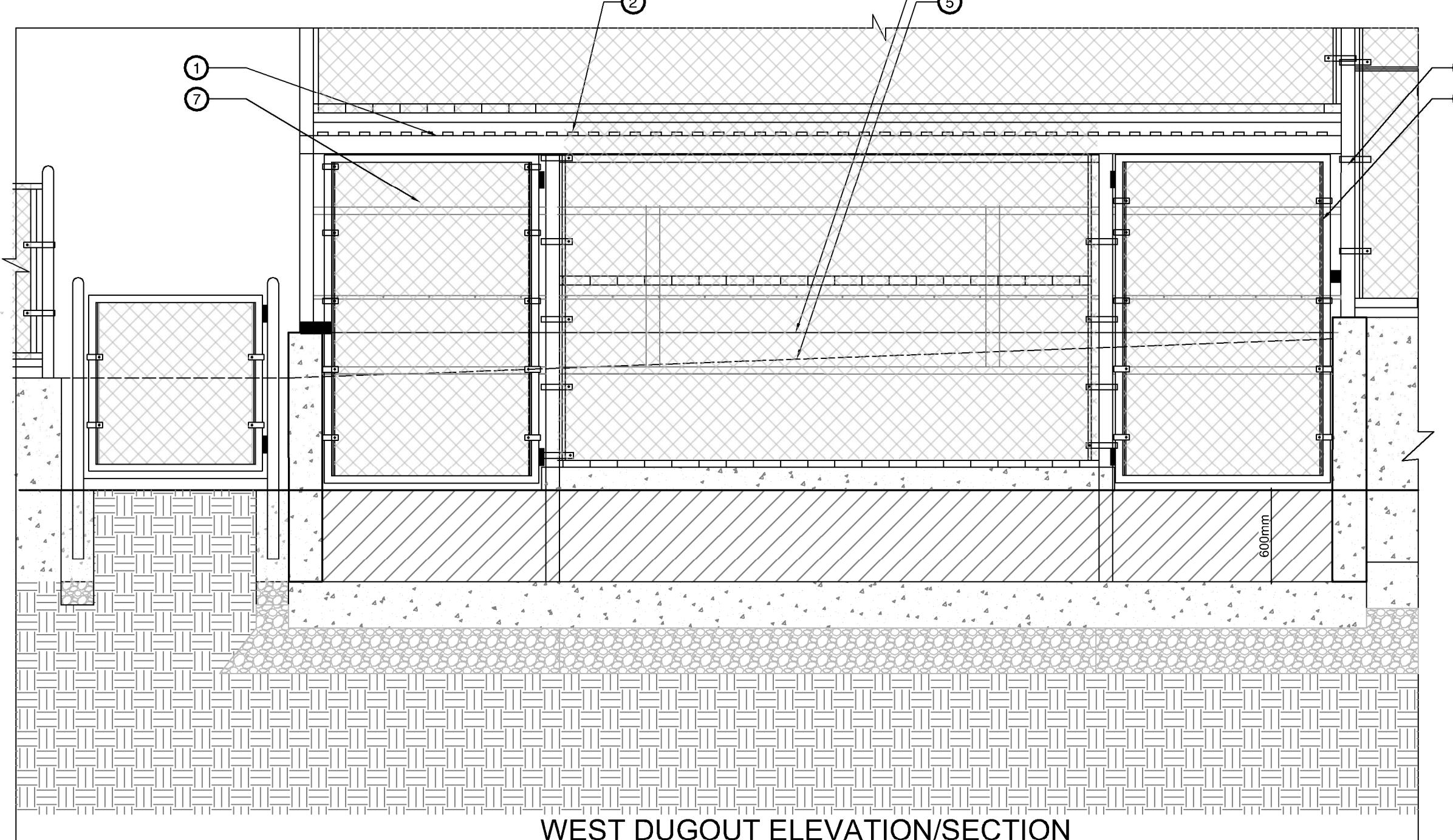
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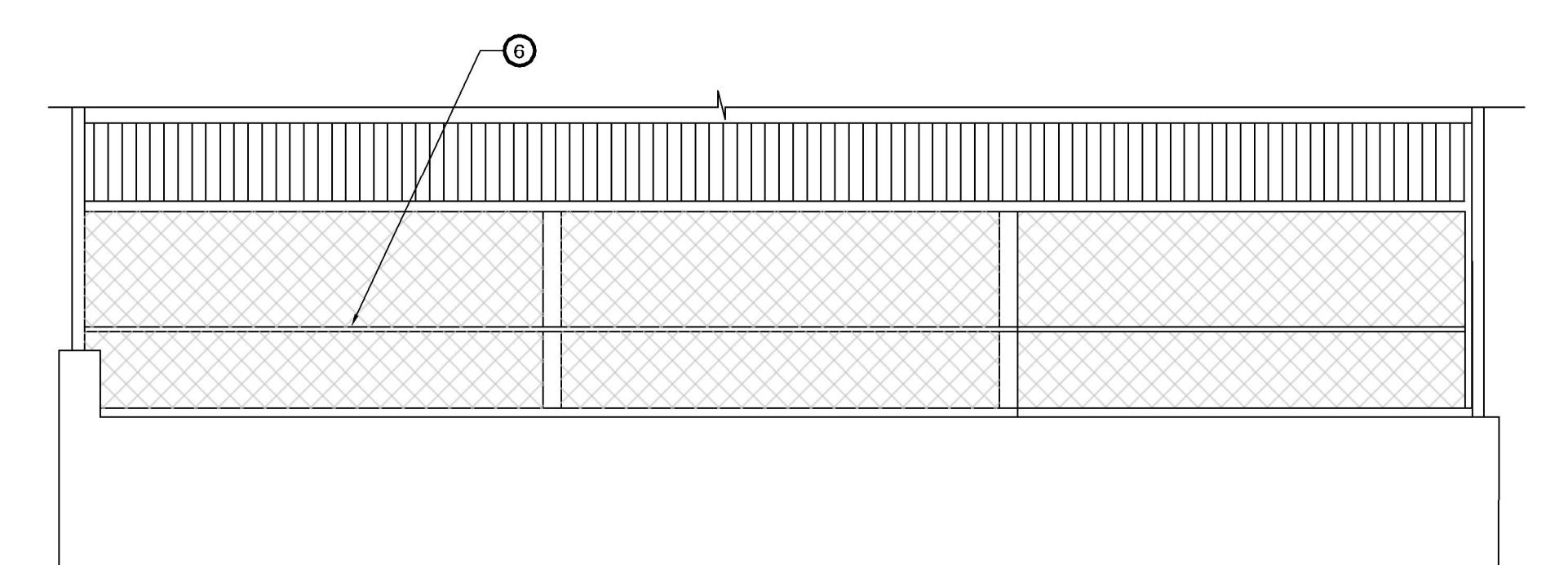
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WEST DUGOUT ELEVATION/SECTION

2 WEST DUGOUT ELEVATION/SECTION

1:30



WEST DUGOUT ELEVATION/SECTION

- ① Align roof with 2 x 2.4m width chainlink panels
- ② Corrugated aluminum roofing
- ③ Metal pipe and chainlink back and sides of dugout
- ④ Concrete structure
- ⑤ Adjacent grade varies 9.18 at north end, 9.12 at south end. see survey and civil plans
- ⑥ Metal strip with hooks
- ⑦ 1400x2200 mm size gate with lockable latch

Drawing Title: **PR2024-20 DETAILS**  
VDZ Project #: **LD-07**

Drawing #: **LD-07**

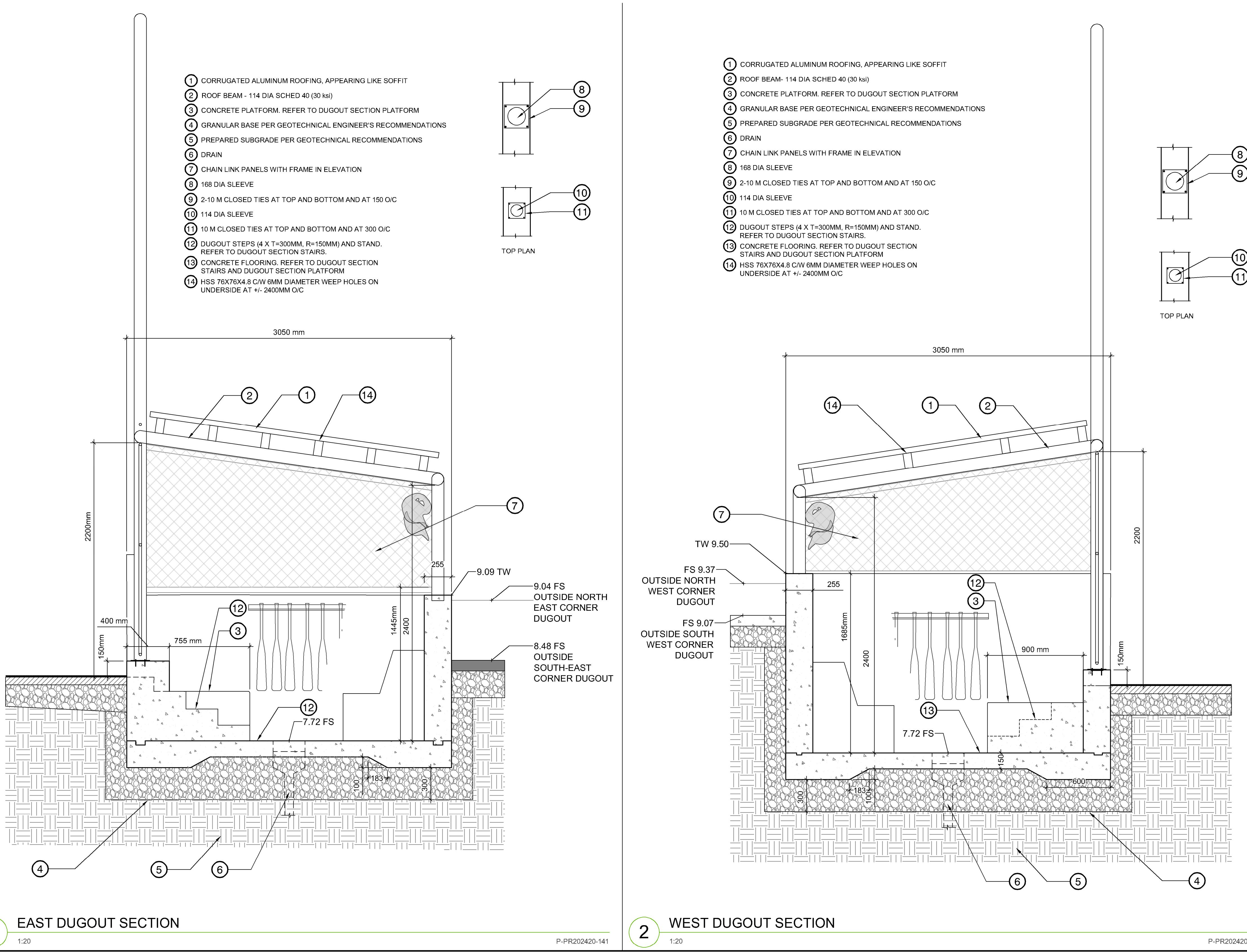
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Drawing Title: DETAILS

# DETAILS

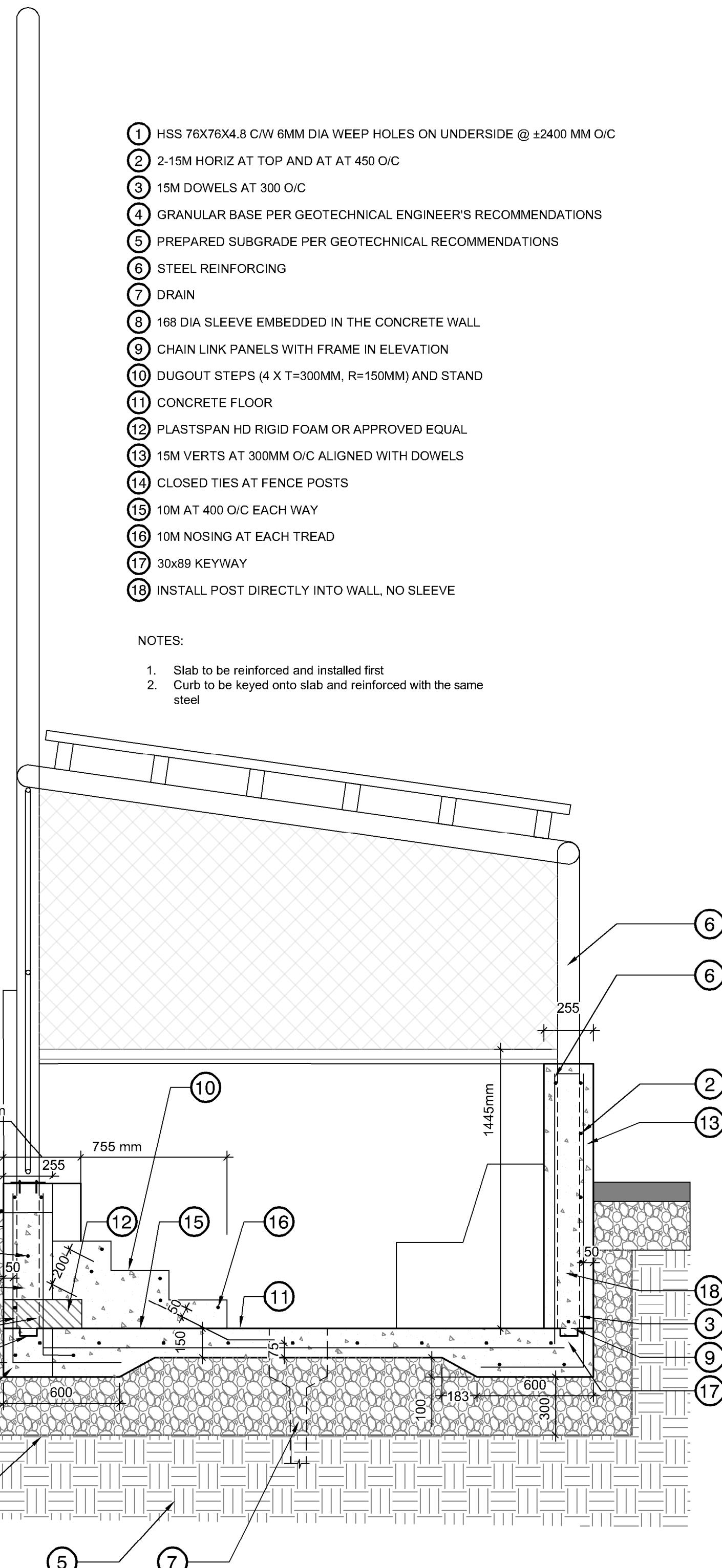
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Drawing #: **LD-08A**



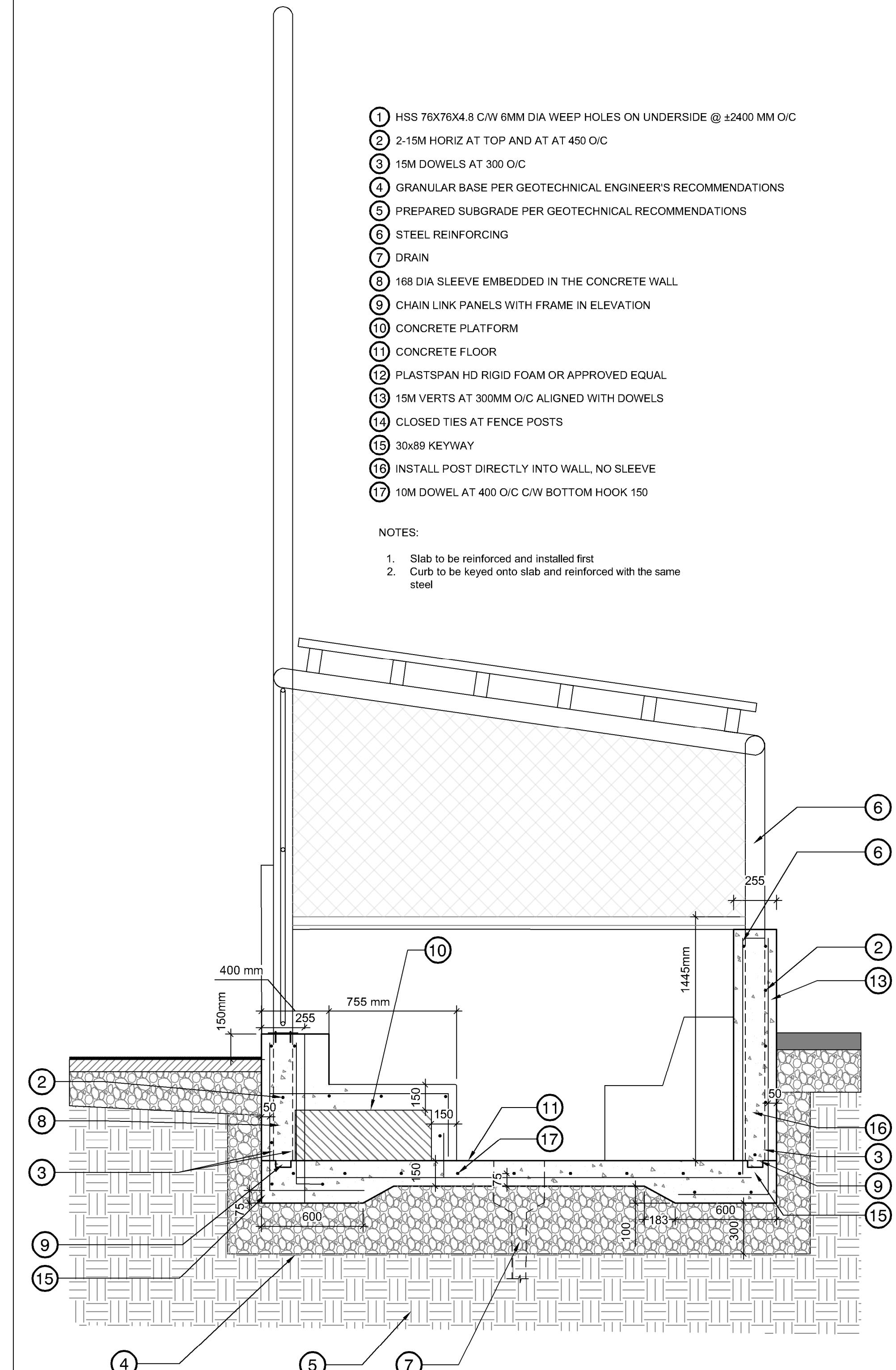
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1 DUGOUT SECTION STAIRS

1:20

P-PR202420-142



2 DUGOUT SECTION PLATFORM

1:20

P-PR202420-143













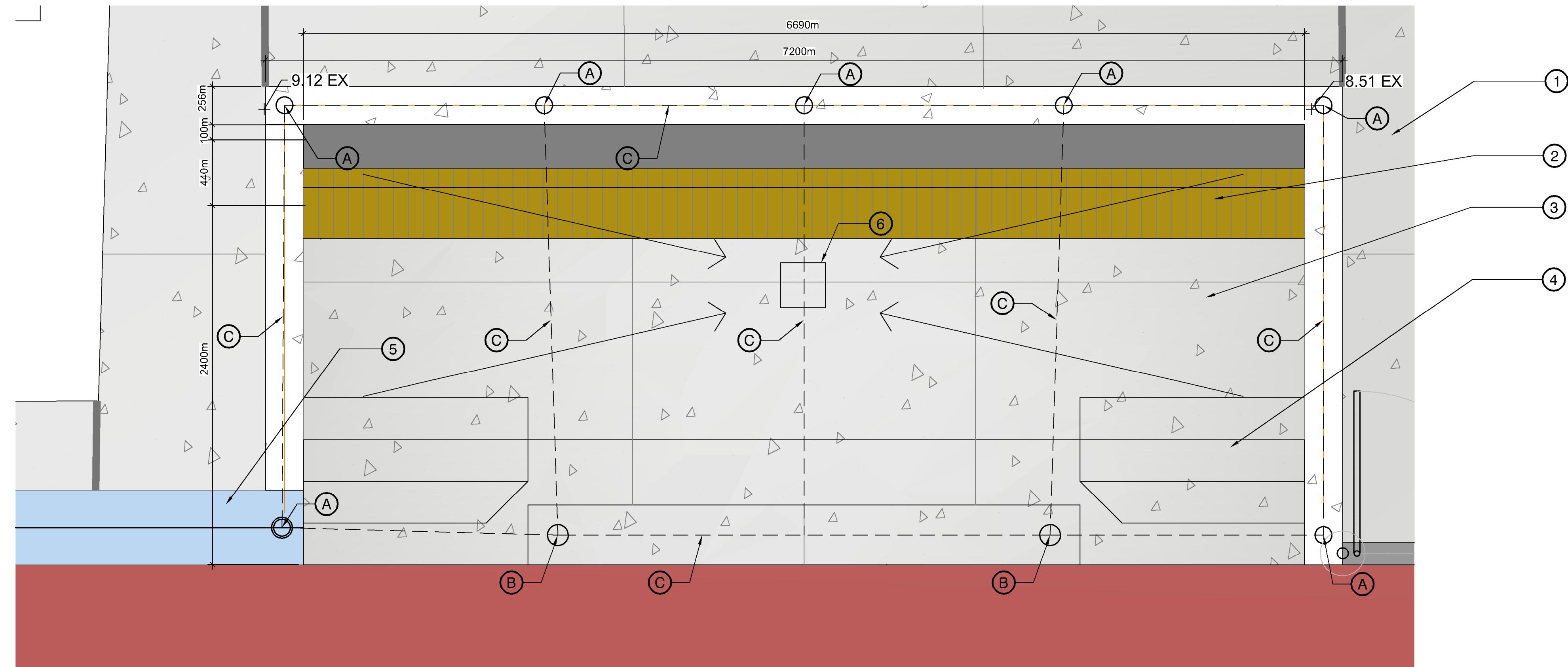


Drawing Title: DETAILS

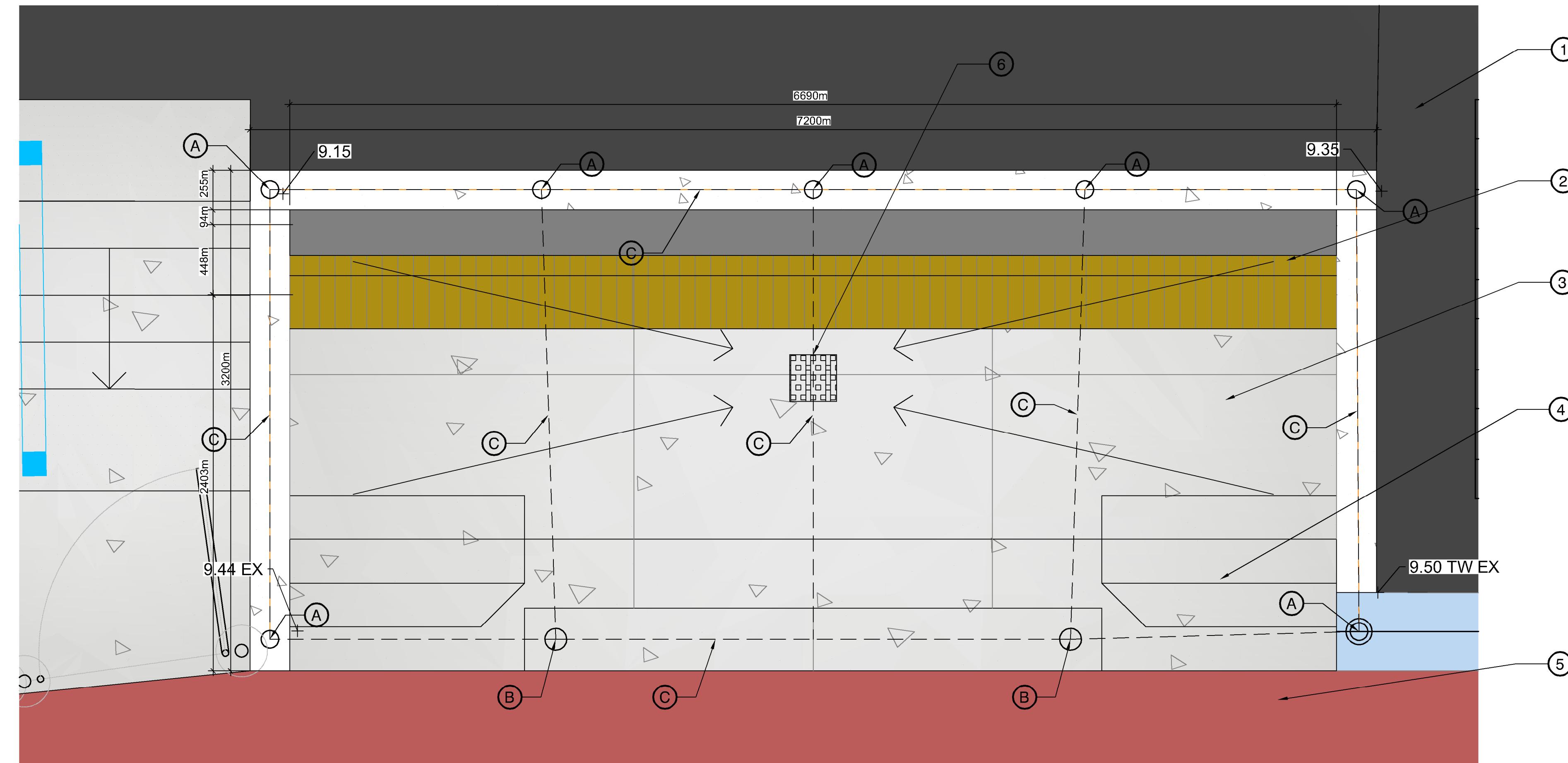
PR2024-20

LD-08B

Drawing #:



1 EAST DUGOUT - PLAN VIEW



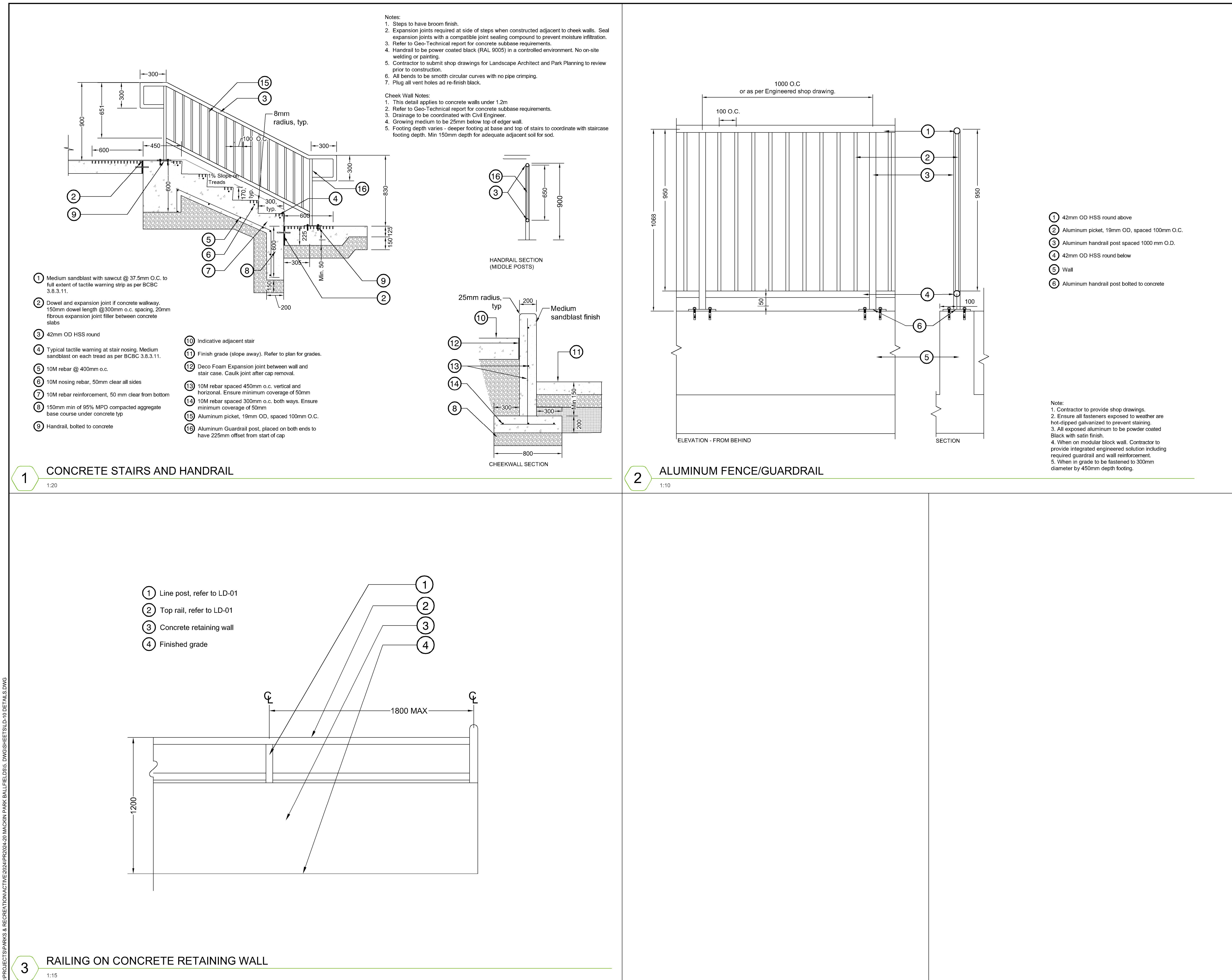
2 WEST DUGOUT - PLAN VIEW

NOT FOR CONSTRUCTION		
8	AM	Issued for Tender
7	AM	Issued for Coordination
6	RMK	Issued for Coordination
5	AM	Issued for Tender
4	AM	Issued for Tender
3	RMK	Issued for 90% Review
2	RMK	Issued for 50% Review
1	RMK	Issued for 25% Review
No.	By:	Description Date
REVISIONS TABLE FOR DRAWINGS		
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Drawing Title:		
Project:		
MACKIN YARD BALL DIAMOND RENEWAL		
Location:		
1046 BRUNETTE AVENUE COQUITLAM, B.C.		
Drawn:	Stamp:	
RMK		
Checked:	PP No.:	1001970
AM		
Approved:	Original Sheet Size:	24\" data-kind="parent">x 36"
MVDZ		
CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCY TO THE CONSULTANT FOR APPROVAL. THE CONSULTANT AND SPECIFICATIONS ARE THE EXCLUSIVE PROPERTY OF THE OWNER AND MUST BE RETURNED TO THE OWNER ONCE THE WORK IS RE-ZONED/DEPANNED. DRAWINGS MUST NOT BE PRICED FOR CONSTRUCTION UNLESS LABELED ISSUED FOR TENDER/CONSTRUCTION.		

DETAILS

PR2024-20

LD-09



# Mackin Park Ballfields - Civil Engineering Drawings

Issued for Tender



Location Map (NTS)

## Contact Information

**VDZ+A**  
Project Civil Engineering

Fort Langley Studio  
102 - 9181 Church Street  
Fort Langley, British Columbia, V1M 2R8

Mount Pleasant Studio  
102-355 Kingsway  
Vancouver, British Columbia, V5T 3J7

Primary project contact:  
Taylor Webber  
twebber@vdz.ca  
o. 604 546 0930

Alternate contacts (in case away):  
Aaron Berghoffer  
aaron@vdz.ca  
o. 604 416 5073

## Contact Information

City of Coquitlam  
Project Owner

Ian Tom  
3000 Guildford Way  
Coquitlam, British Columbia V3B 7N2  
o. 604 218 2500  
itom@coquitlam.ca

## Legal Address and Description:

Lot 17 District Lots 45, 46 and 48 Group  
1 NWD Plan 63676

## Sheet List Table

Sheet Number	Sheet Title
CV-00	COVER SHEET
CV-01	KEY PLAN
CV-02	EXISTING CONDITIONS
CV-03	GRADING PLAN
CV-04	DRAINAGE PLAN
CD-01	CIVIL DETAILS
CN-01	CIVIL NOTES
ESC-01A	ESC PLAN PHASE 1
ESC-01B	ESC PLAN PHASE 2
ESC-01C	ESC PLAN PHASE 3
ESC-02	ESC DETAILS
ESC-03	ESC NOTES

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6	TW	Issued for Tender
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2	TW	Issued for 50% CD
1	TW	Issued for 25% CD
No.	By:	Description Date

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No.	By:	Description Date

### REVISIONS TABLE FOR SHEET

Drawn:	Stamp:
AB	PP-NOT-1001970 T.G. WEBBER CIVIL ENGINEER
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NTS	

Drawing Title: **COVER SHEET**



PR2024-20

CV-00

# KEY PLAN



NORTH

PR2024-20

CV-01

Drawing #:

**VDZ+A**

LANDSCAPE ARCHITECTURE | CIVIL ENGINEERING | URBAN FORESTRY

FORT LANGLEY STUDIO MOUNT PLEASANT STUDIO  
100-2151 Church St 102-355 Kingsway  
Fort Langley, BC Vancouver, BC  
V1M 2R8, V5T 3J7  
www.vdz.ca 604-882-0024

LEGEND	
EXISTING	PROPOSED

NOT FOR CONSTRUCTION

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No.	By:	Description Date

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No.	By:	Description Date

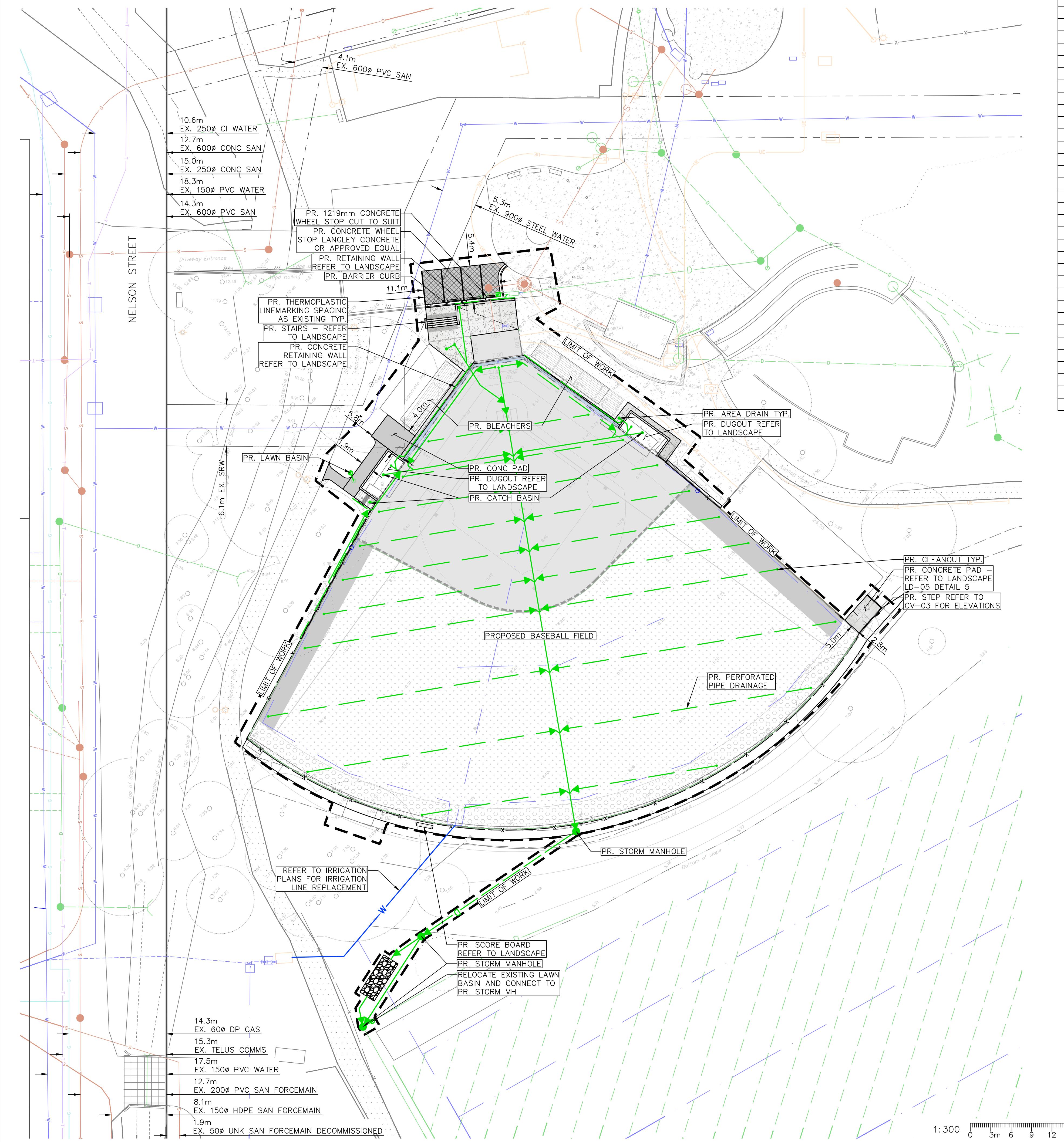
REVISIONS TABLE FOR SHEET

Project: MACKIN PARK BALLFIELDS		
Location: 1046 BRUNETTE AVENUE COQUITLAM, B.C.		

Drawn: AB Stamp: PP-NOT-101970  
Checked: TW PP No: 1001970

Approved: TW Original Sheet Size: 24" x 36"

Scale: 1:300 Contractor shall check all dimensions on the work and report any discrepancy to the consultant before proceeding with the work. All specifications are the exclusive property of the owner and must be referred to for the details of the work. All reconnings/price/quote/drawings must not be priced for construction unless labeled issued for tender/construction.

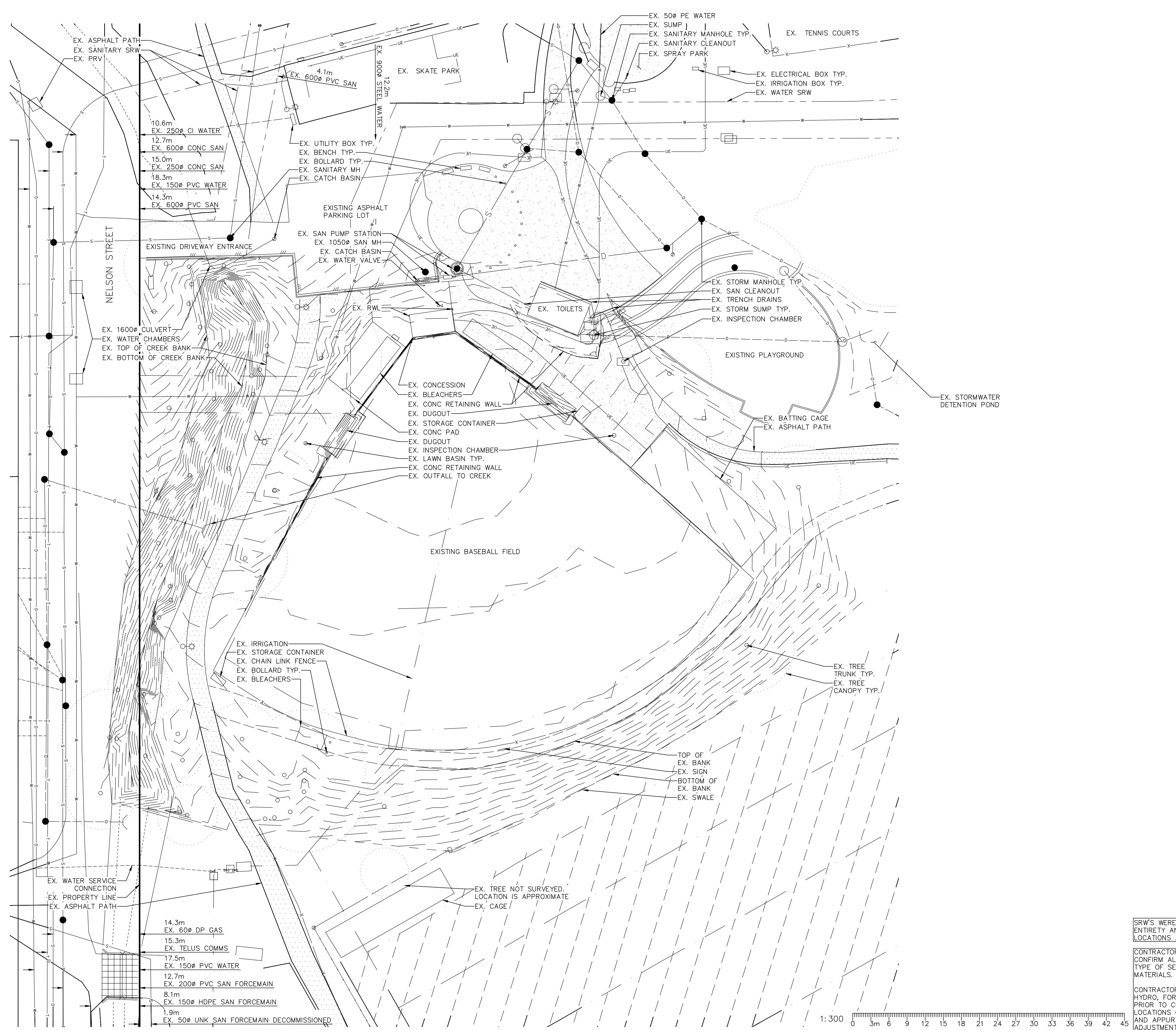


SRWS WERE NOT SURVEYED IN THEIR ENTIRETY AND AS SUCH THEIR LOCATIONS ARE NOT ACCURATE

CONTRACTOR TO TEST PIT IN ORDER TO CONFIRM ALL LOCATIONS, DEPTHS, AND TYPE OF SERVICE PRIOR TO ORDERING MATERIALS.

CONTRACTOR TO CONTACT TELUS, BC HYDRO, FORTISBC, AND BC ONE CALL PRIOR TO CONSTRUCTION TO CONFIRM LOCATIONS OF UTILITIES AND APPURTENANCES REQUIRING ADJUSTMENT

1:300 0 3m 6 9 12 15 18 21 24 27 30 33 36 39 42 45



NOT FOR CONSTRUCTION			
TW	Issued for Tender	Feb. 02, 2026	
TW	Issued for Tender	Jan. 19, 2026	
TW	Issued for Tender	Dec. 03, 2025	
TW	Issued for Tender	Jul. 28, 2025	
TW	Issued for 90% CD	Jun. 19, 2025	
TW	Issued for 50% CD	Apr. 02, 2025	
TW	Issued for 25% CD	Feb. 7, 2025	
By:	Description	Date	

## REVISIONS TABLE FOR DRAWINGS

AB	Issued for Review		Nov 13, 2024
By:	Description		Date

## REVISIONS TABLE FOR SHEET

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Location:  
1046 BRUNETTE AVENUE  
COQUITLAM, B.C.

Оправдана | Ставки

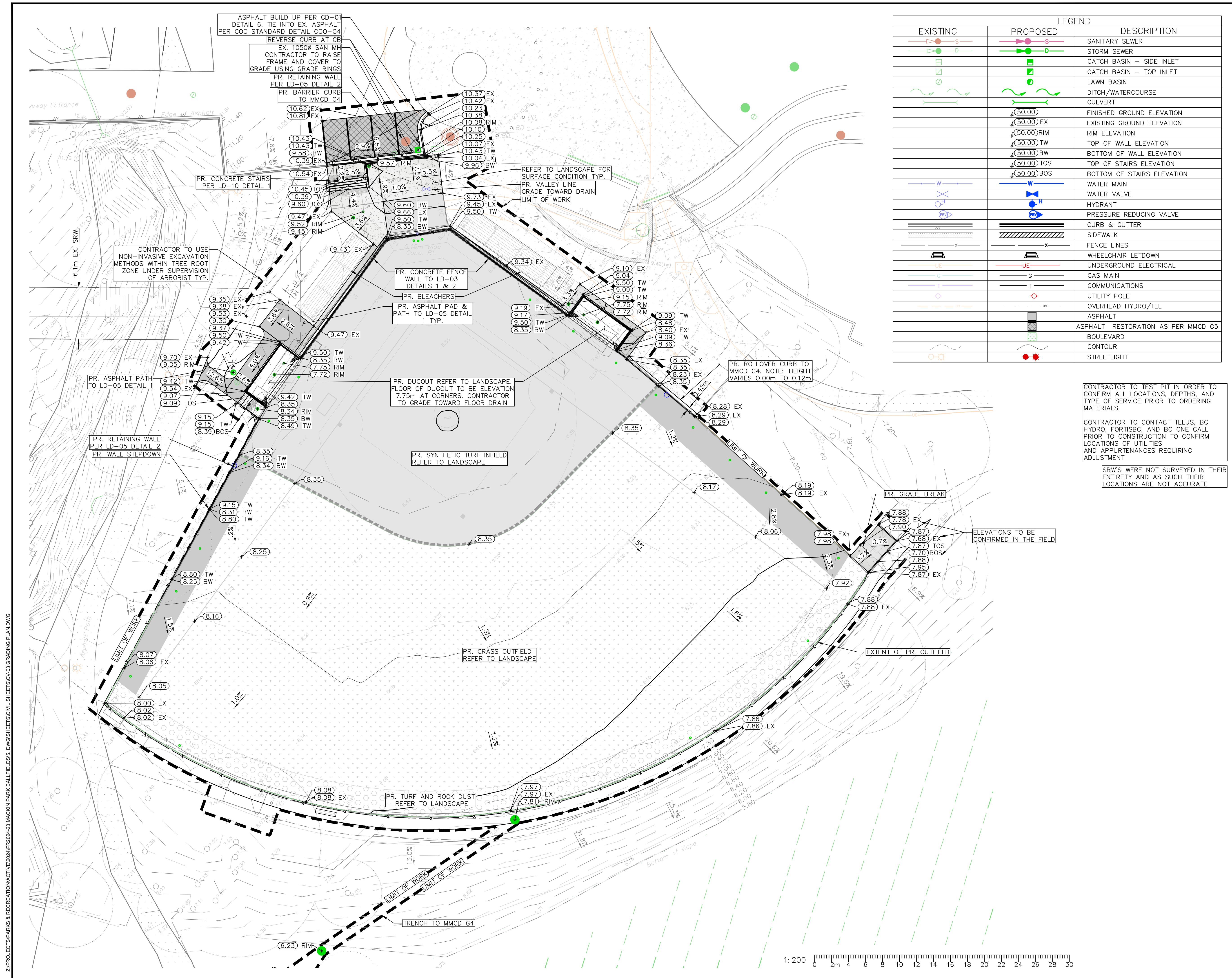
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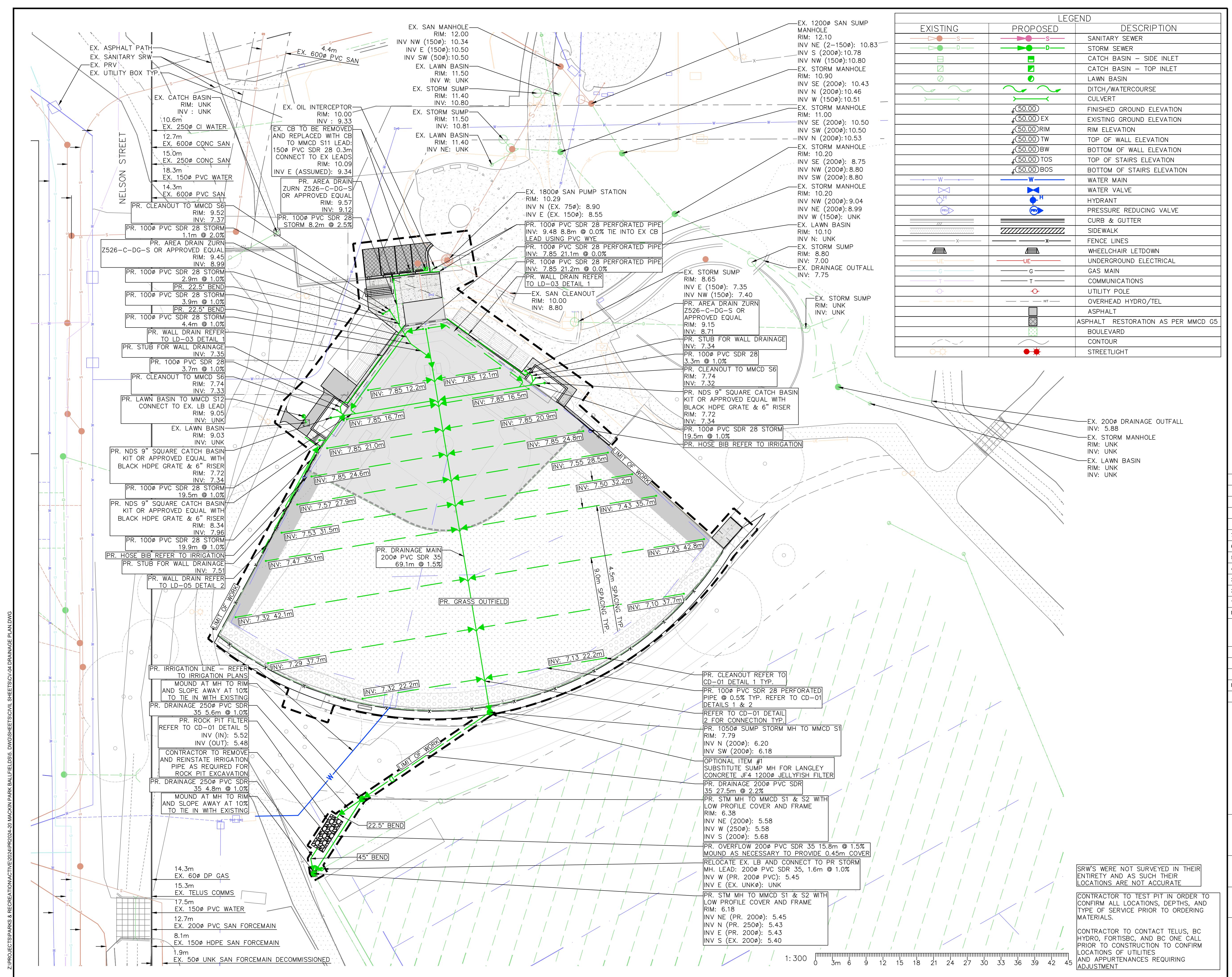
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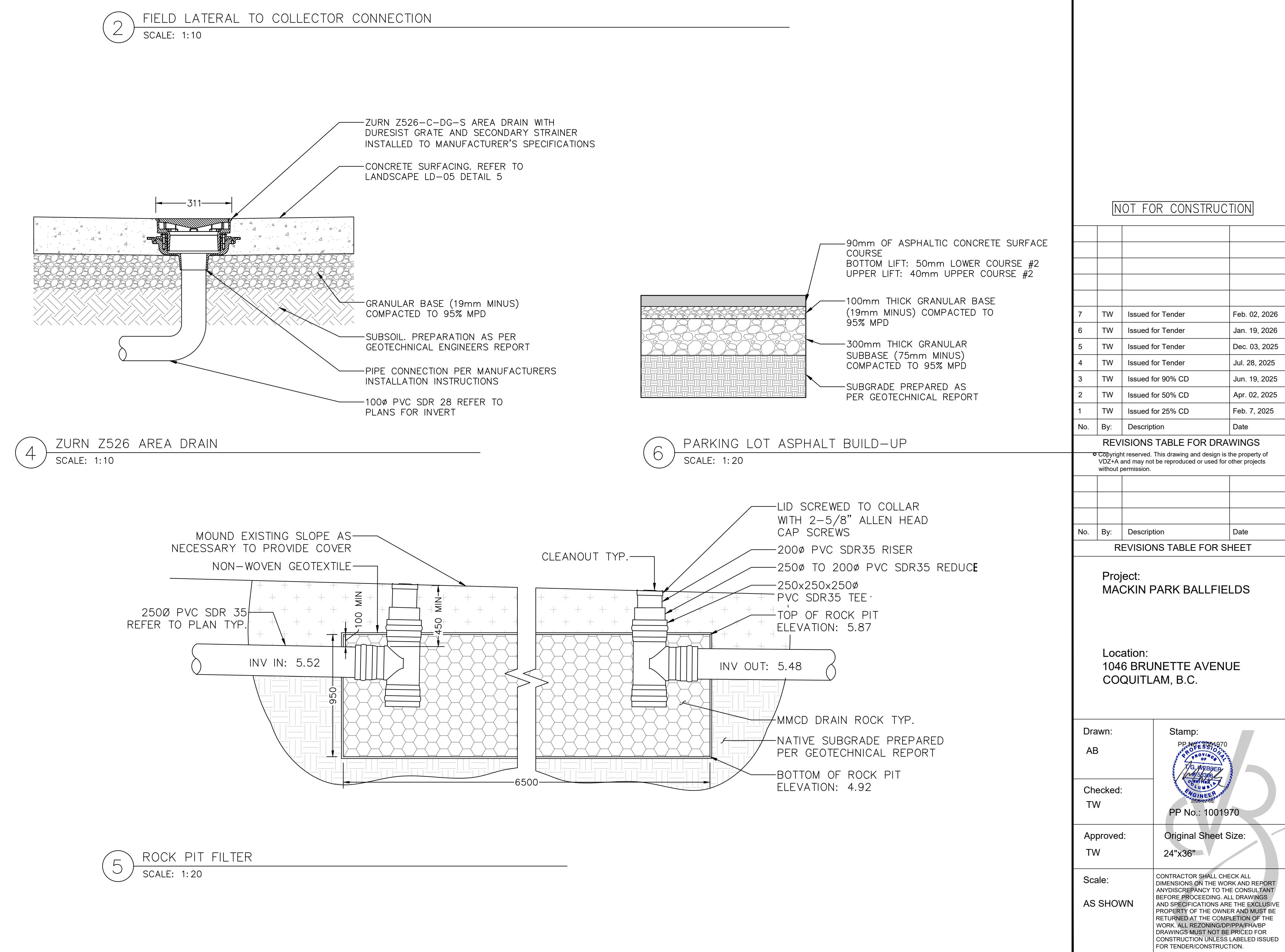
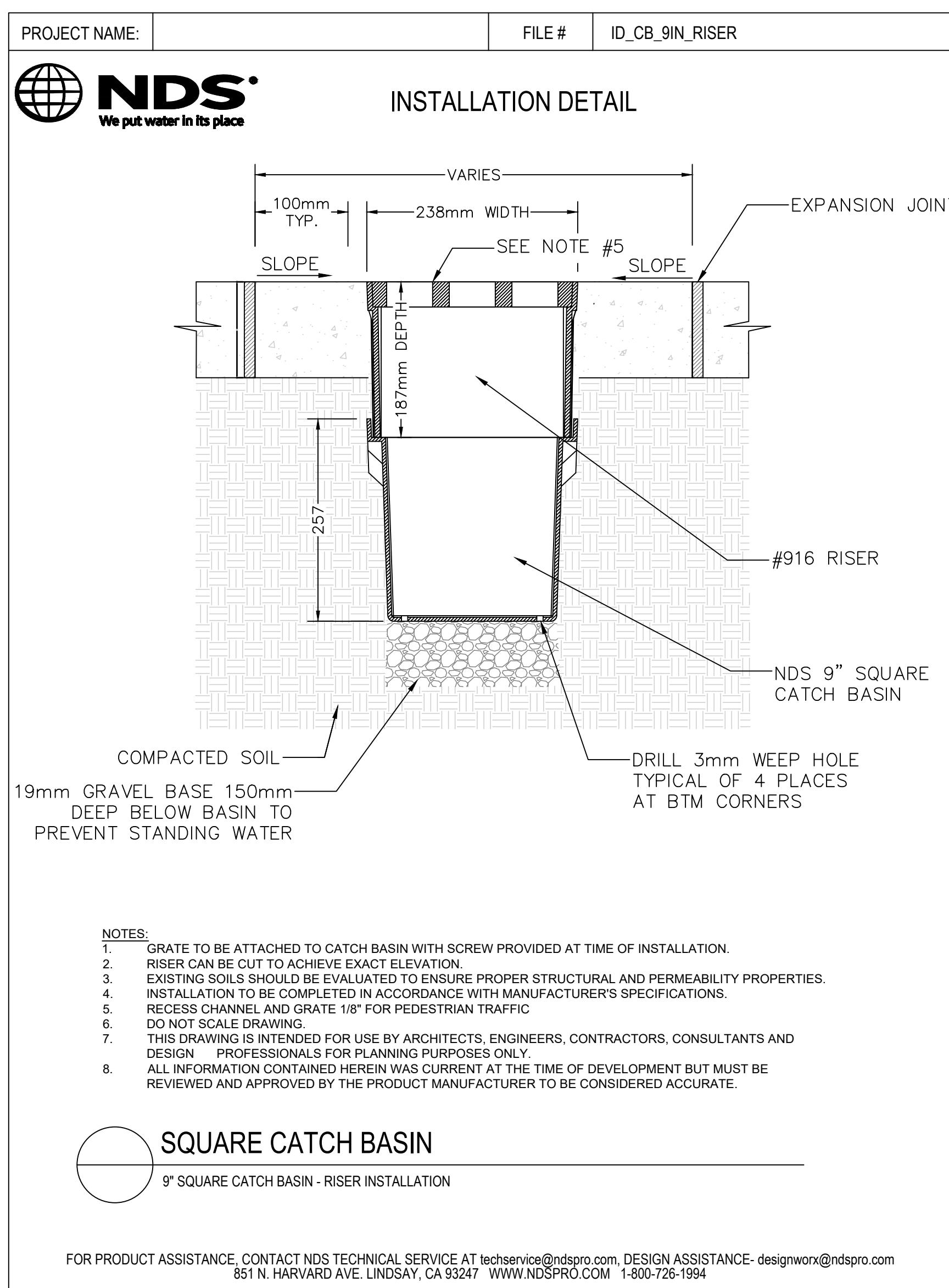
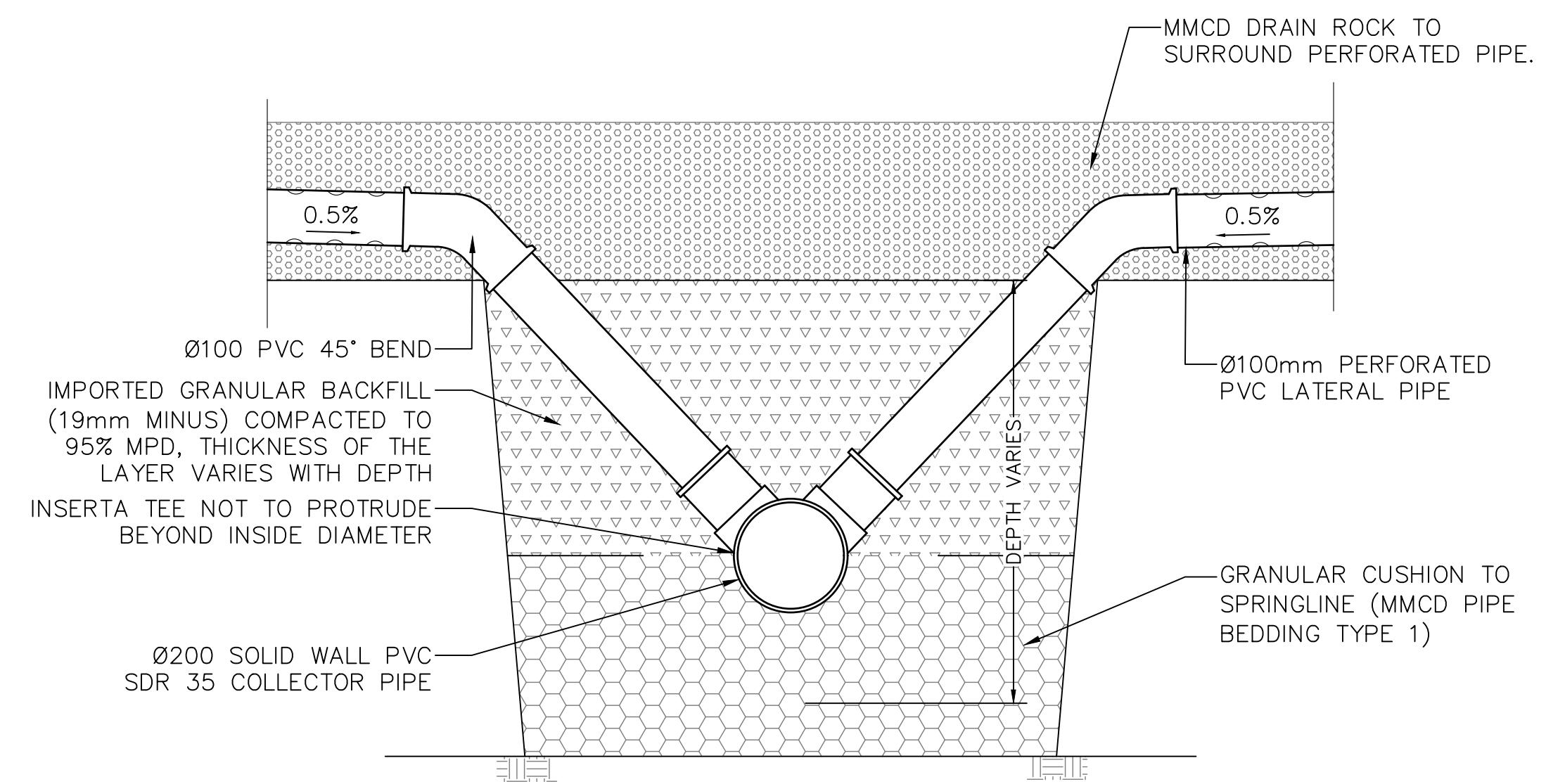
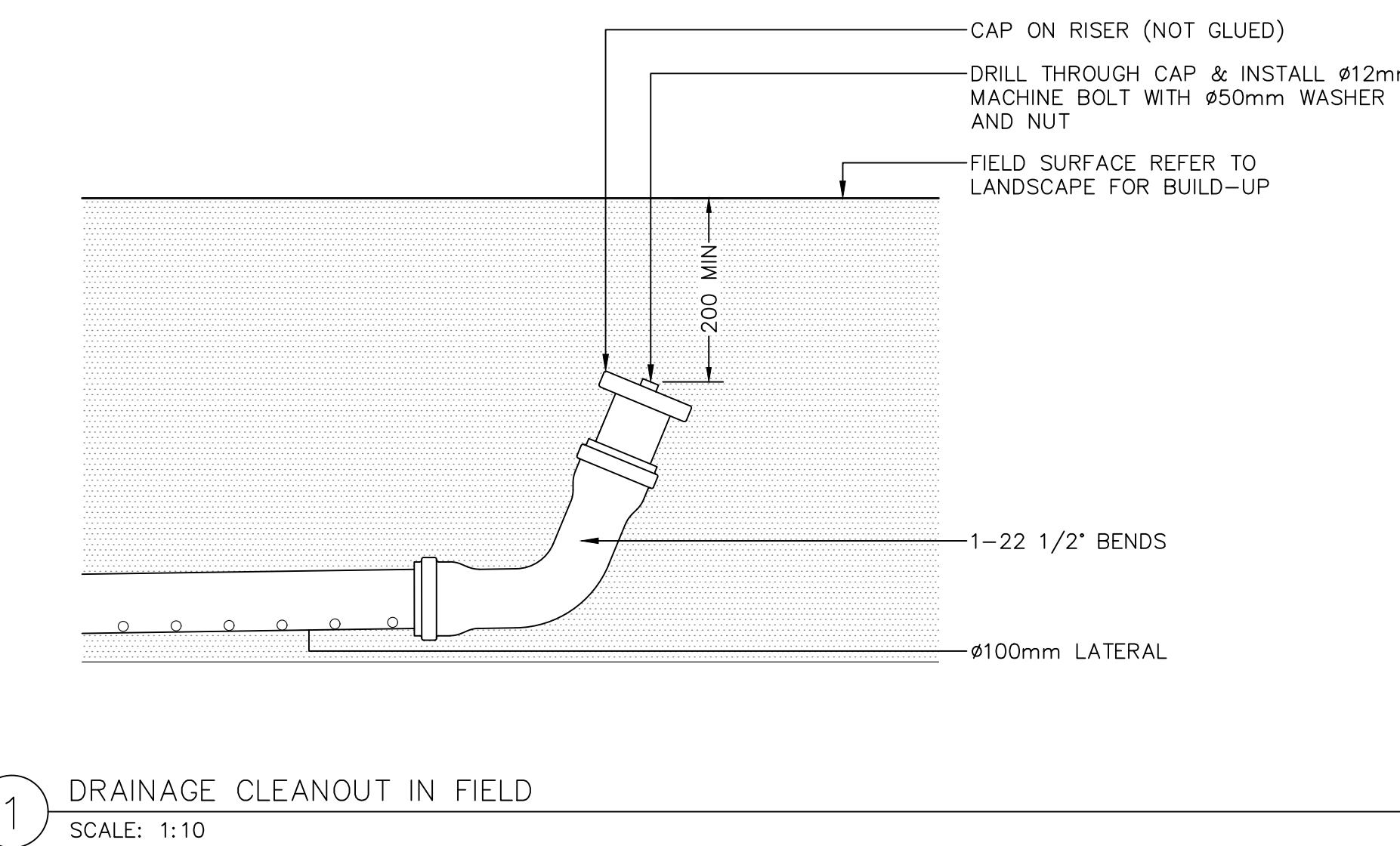
PROFESSIONAL  
ENGINEER  
PROVINCE OF  
ONTARIO  
COLUMBIA  
G. WEBBER  
#5306  
2020-02-06

PP No.: 1001970

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## CIVIL CONSTRUCTION NOTES:

1.0 ALL WORK MUST BE IN ACCORDANCE WITH THE MASTER MUNICIPAL CONSTRUCTION DOCUMENT (SPECIFICATIONS) (LATEST EDITION), B.C. BUILDING CODE (2024), AND TO CITY OF COQUITLAM SPECIFICATIONS AND STANDARD DETAIL DRAWINGS AND THE CIVIL PROJECT SPECIFICATIONS LABELED MACKIN PARK BALLFIELD TECHNICAL SPECIFICATIONS

2.0 THE GENERAL CONTRACTOR SHALL NOTIFY THE PRIMARY PROJECT CONTACT PRIOR TO COMMENCING WORK TO ENSURE THE PROJECT TEAM HAS THE LATEST PLANS AND SPECIFICATIONS ISSUED FOR CONSTRUCTION. THE GENERAL CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR ISSUING PLANS AND SPECIFICATIONS TO ASSIGNED SUBCONTRACTORS. CIVIL PLANS PREPARED BY VAN DER ZALM AND ASSOCIATES WILL CONTAIN "ISSUED FOR CONSTRUCTION" WITHIN THE REVISIONS TABLE AND WILL INCLUDE PROPER SIGNATURE AND SEAL FROM THE PROJECT ENGINEER DATED THE SAME DATE MATCHING THE DATE LISTED WITHIN THE REVISIONS TABLE TO IDENTIFY CONSTRUCTION DRAWINGS.

3.0 THE CONTRACTOR IS CAUTIONED THAT THE SUBSURFACE UTILITY INFORMATION SHOWN ON THESE PLANS IS PRODUCED FROM A COMBINATION THAT MAY OR MAY NOT INCLUDE RECORD DRAWINGS, GIS DATA, SURVEY DATA, AND FIELD OBSERVATIONS. CONTRACTOR AND/OR SUBCONTRACTORS SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK THROUGH AN APPROPRIATE MEANS INCLUDING BY CONTACTING BC ONE CALL, FIELD VERIFYING, OR TEST PITTING. THE CONTRACTOR AND/OR SUBCONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES DUE TO FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UTILITIES (UNDERGROUND, AT SURFACE, AND OVERHEAD). SUBSURFACE UTILITY INFORMATION HAS NOT BEEN PROVIDED TO CSA STANDARD S250 DETAIL

4.0 IF THE CONTRACTOR ENCOUNTERS ANY UTILITY LINES WITHIN THE SITE INCLUDING DRAINTILE OR IRRIGATION LINES, HE OR SHE SHALL NOTIFY THE ENGINEER WITH THE LOCATION, SIZE, INVERT AND DIRECTION OF THOSE UTILITY LINES. NO UTILITY LINE SHALL BE BACKFILLED OR ALTERED WITHOUT REVIEW, DISCUSSION AND WRITTEN APPROVAL FROM THE PRIMARY PROJECT CONTACT. THE CONTRACTOR SHALL BEAR RESPONSIBILITY FOR THE RELOCATING OF ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS AT NO ADDITIONAL COST TO THE OWNER..

5.0 THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES OR EXISTING FEATURES TO REMAIN DURING THE CONSTRUCTION PHASES OF THIS PROJECT. THE CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR ANY DAMAGES TO THE ADJACENT PROPERTIES OR EXISTING FEATURES TO REMAIN OCCURRING DURING THE CONSTRUCTION PHASES OF THIS PROJECT.

6.0 ACTIVITIES PROHIBITED OUTSIDE OF THE CONSTRUCTION BOUNDARIES WOULD INCLUDE, BUT NOT BE LIMITED TO: SOIL AND OTHER MATERIAL STOCKPILING, EQUIPMENT OR MACHINERY STORAGE, DRIVING OF ANY VEHICLE, LEAKAGE OR SPILLAGE OF ANY "WASHOUT" OR OTHER TOXIC MATERIAL. THE COLLECTION OF OTHER DEBRIS AND SOIL STOCKPILING WILL BE IN AN AREA DETERMINED ON-SITE BY THE ENGINEER.

7.0 ALL RESTRICTED AREAS SHALL BE FENCED OFF WITH BRIGHT ORANGE POLYETHYLENE SAFETY NETTING AND STEEL STAKES AS SHOWN ON THE TREE PROTECTION DETAIL. AT NO TIME SHALL THIS FENCING BE REMOVED OR ACTIVITY OF ANY KIND TAKE PLACE WITHIN IT. FINAL PLACEMENT OF ALL PROTECTIVE FENCING SHALL BE COMPLETE BEFORE ANY WORK COMMENCES ON-SITE.

8.0 ALL WATER AND SEWER UTILITY WORK WILL CONFORM TO THE BC BUILDING CODE, CITY OF COQUITLAM CONSTRUCTION STANDARDS AND THE LATEST EDITION OF THE MMCD. IF THERE IS A CONFLICT BETWEEN APPLICABLE STANDARDS, THE MORE STRINGENT STANDARD WILL GOVERN.

9.0 PRIOR TO PLACEMENT OF STRUCTURAL SOIL, SUBGRADE OR SOIL DRAINAGE MEDIUM, REFER TO GEOTECHNICAL SOIL RECOMMENDATIONS AND VERIFY PLACEMENT IS ACCEPTABLE TO THE PROJECT GEOTECHNICAL ENGINEER.

10.0 SUBSTITUTIONS OR DEVIATIONS FROM THE CIVIL PROJECT PLANS OR SPECIFICATIONS ARE NOT ALLOWED WITHOUT WRITTEN APPROVAL FROM THE PROJECT ENGINEER.

11.0 OPEN TRENCH OPERATIONS IN EXISTING PAVEMENT SHALL BE VERTICAL AND REPLACED WITH HOT MIX ASPHALT AFTER BACKFILL AND COMPACTION. ALL PAVEMENTS, BOULEVARD, ETC. ARE TO BE RESTORED TO ORIGINAL CONDITION WHERE NO IMPROVEMENTS ARE PROPOSED UNDER THIS CONTRACT.

12.0 THE CONTRACTOR SHALL USE EXTREME CARE WHEN WORKING NEAR EXISTING SERVICES AND ANY SERVICES DISTURBED ARE TO BE REPLACED TO THE SATISFACTION OF THE CITY OF COQUITLAM OR OTHER APPROVING AGENCIES.

13.0 ALL ONSITE SERVICES TO BE CONSTRUCTED IN ACCORDANCE WITH THE NATIONAL BUILDING CODE, THE B.C. BUILDING CODE (2024), MASTER MUNICIPAL SPECIFICATIONS (MMCD) AND PASS THE INSPECTION OF THE CITY OF COQUITLAM BUILDING DEPARTMENT. ALL WORKS CONSTRUCTED WITHIN THE EXISTING MUNICIPAL RIGHTS-OF-WAY TO CONFORM TO THE CITY OF COQUITLAM ENGINEERING DEPARTMENT STANDARDS AND SPECIFICATIONS AND BE CARRIED OUT UNDER THEIR INSPECTION. TIE INTO EXISTING SERVICES MUST BE CONFIRMED THROUGH THE CITY AND MUST PROVIDE 48 HOURS NOTICE OF START OF WORK.

14.0 THE CONTRACTOR SHALL ENSURE ALL APPROVALS REQUIRED FOR THE PROPOSED WORK HAVE BEEN OBTAINED PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. THE CONTRACTOR IS TO CHECK WITH BC HYDRO, TELUS AND FORTIS BC PRIOR TO COMMENCING WORK FOR VERIFICATIONS OF LOCATIONS AND INVERTS OF ALL GAS MAINS AND UNDERGROUND UTILITIES TO ENSURE NO CONFLICTS.

15.0 ANY MATERIAL SUBSTITUTIONS MUST BE APPROVED BY THE ENGINEER.

16.0 ANY SURVEY MONUMENTS MUST BE PROTECTED AND ANY DAMAGE SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.

17.0 ALL EXISTING IMPROVEMENT SHALL BE RESTORED TO THE SATISFACTION OF THE CITY OF COQUITLAM.

18.0 SEE LANDSCAPE ARCHITECT'S DRAWINGS FOR FEATURE LAYOUTS, DIMENSIONS AND LANDSCAPE GRADING DETAILS.

19.0 CONTRACTOR TO PROVIDE 48 HOURS NOTICE PRIOR TO CONSTRUCTION WITHIN ROAD ALLOWANCES.

20.0 ALL WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH THE GEOTECHNICAL REPORT FOR THIS PROJECT.

21.0 CONTRACTOR TO PROVIDE AS-BUILT DRAWINGS UPON COMPLETION OF THE PROJECT.

22.0 ELEVATIONS ARE REFERRED TO GEODETIC DATUM.

23.0 SEE ARCHITECT'S DRAWINGS FOR BUILDING DETAILS, DIMENSIONS AND FINISHED FLOOR ELEVATIONS.

24.0 SANITARY AND WATER SERVICE CONNECTIONS TO BE TERMINATED AS SHOWN ON PLANS BY 'ON-SITE' SERVICING CONTRACTOR. CONTINUATION BY BUILDING PLUMBING CONTRACTORS INCLUDING SEWER CLEANOUTS REQUIRED IMMEDIATELY OUTSIDE BUILDING.

25.0 ALL BUILDINGS CORNERS TO BE SURVEYED PRIOR TO SITE SERVICING

26.0 THE ONSITE CONTRACTOR SHOULD TAKE PHOTOS ALONG ALL APPLICABLE

STREET SITE FRONTAGES AND PROPERTY LINES TO VERIFY THE EXISTING CONDITION PRIOR TO ANY SITE CONSTRUCTION. IF THIS IS NOT DONE, THE CONTRACTOR COULD BE ASSESSED FOR DAMAGES AND WILL BE REQUIRED TO UNDERTAKE ANY AND ALL RESTORATION WORKS AS DIRECTED BY THE CITY OF COQUITLAM.

27.0 TOPOGRAPHIC AND LEGAL SURVEY INFORMATION PROVIDED BY TARGET LAND SURVEYING (NW) LTD.

28.0 REPORT ANY DISCREPANCIES TO THE CONSULTING ENGINEER, PRIOR TO CONSTRUCTION.

29.0 CONTRACTOR TO SECURE ALL REQUIRED PERMITS PRIOR TO BEGINNING CONSTRUCTION.

30.0 IMMEDIATELY STOP WORK AND NOTIFY THE ENGINEER OF ANY SUSPECTED ARCHAEOLOGICAL MATERIALS UNCOVERED DURING EXCAVATION.

31.0 ALL DIMENSIONS AND ELEVATIONS SHOWN IN PLAN ARE IN METRES. ALL DIAMETERS OF PIPES AND CONCRETE STRUCTURES AND DETAIL DIMENSIONS ARE IN MILLIMETRES.

## SURFACE WORKS AND ROADWORKS NOTES:

1.0 ALL MANHOLE LIDS, VALVE COVERS, CATCH BASINS, AND LIDS OF ANY OTHER STRUCTURE TO BE ADJUSTED TO SUIT FINAL OR PROPOSED ROAD, DRIVEWAY, SIDEWALK, PATHWAY, BOULEVARD/LANDSCAPE AREAS, AND OTHER FINISHED GROUND FEATURES.

2.0 GEOTECHNICAL ENGINEER TO REVIEW ALL SUBGRADES PRIOR TO PLACING BASE MATERIALS.

3.0 FOR FENCE LOCATIONS, SEE LANDSCAPE ARCHITECT PLANS

4.0 LOCATIONS OF DRIVEWAYS, WHEELCHAIR RAMPS, ETC., SHALL BE CONFIRMED IN THE FIELD PRIOR TO CONSTRUCTION OF THE PROPOSED CONCRETE CURB/GUTTER AND SIDEWALK.

5.0 ALL LOOSE, ORGANIC, OTHERWISE DELETERIOUS MATERIALS OR SOFT SPOT(S) ARE TO BE EXCAVATED AND REMOVED FROM THE SUBGRADE AS PER THE GEOTECHNICAL CONSULTANT'S REPORT.

6.0 ALL NEW SURFACES SHALL BE SMOOTHLY TIED INTO EXISTING SURFACES.

7.0 THE CONTRACTOR SHALL COMPLY WITH THE RECOMMENDATIONS AND BYLAWS OF THE REGULATORY AUTHORITIES. FEDERAL AND PROVINCIAL GOVERNMENT DEPARTMENTS INCLUDING THE "LAND DEVELOPMENT GUIDELINES FOR THE PROTECTION OF AQUATIC HABITAT" AS PRODUCED BY THE DEPARTMENT OF FISHERIES AND OCEANS CANADA.

8.0 CURBS ONSITE TO BE BARRIER CURBS IN ACCORDANCE WITH MMCD STD. DWG C4 UNLESS NOTED OTHERWISE.

9.0 LOCATIONS OF DRIVEWAYS, WHEELCHAIR RAMPS, ETC. SHALL BE CONFIRMED IN THE FIELD PRIOR TO CONSTRUCTION OF PROPOSED CONCRETE CURB AND GUTTER AND SIDEWALKS.

10.0 RESTORATION OF EXISTING DRIVEWAYS, PARKING AREAS, AND WALKWAYS TO CONFORM TO CITY OF COQUITLAM SPECIFICATIONS.

## TESTING NOTES:

1.0 ALL TESTING TO BE PERFORMED BY A CSA OR CCIL (CANADIAN CERTIFIED TESTING LABORATORIES) CERTIFIED LABORATORY.

2.0 FREQUENCY OF DENSITY TESTS FOR EXCAVATING, TRENCHING AND BACKFILLING SHALL BE ONE TEST PER 50 LINEAL METERS OF TRENCH PER METER OF DEPTH. MATERIAL TO BE COMPACTED IN 300mm LIFTS.

3.0 FREQUENCY OF DENSITY TESTS FOR GRANULAR FILL IN AREA OF FILL SURFACES SHALL BE ONE TEST PER 250m<sup>2</sup> PER 300mm LIFT.

4.0 FREQUENCY FOR GRANULAR BASE AND SUB-BASE IN HARDSCAPED AREAS INCLUDING ROADS AND PARKING LOTS SHALL BE ONE TEST PER 250m<sup>2</sup>. SHOULD THE BASE OR SUBBASE LAYER BE GREATER THAN 300mm, TESTS SHALL BE PER LIFT.

5.0 FREQUENCY OF FOR GRANULAR BASE AND SUB-BASE SHALL BE ONE TEST PER 30 LINEAL METERS WITHIN SIDEWALK AND DRIVEWAY AREA.

6.0 FREQUENCY OF DENSITY TESTS FOR CURB BASE SHALL BE ONE TEST PER 100 LINEAL METERS.

7.0 FREQUENCY OF MARSHALL TESTS FOR HOT-MIX ASPHALT CONCRETE PAVING SHALL BE ONE TEST PER 400 TONNES OF MIX PLACED OR ONE TEST FOR EACH TYPE OF ASPHALT MIX, MINIMUM ONE PER DAY.

8.0 FOR STREET PAVING, CORE LOCATIONS WILL BE SELECTED FOR EACH PASS OF THE PAVING MACHINE AS FOLLOWS:

8.1 ACROSS THE WIDTH, CORE LOCATIONS WILL BE SELECTED RANDOMLY FROM ONE-SIXTH INCREMENTS

8.2 ALONG THE LENGTH, CORE LOCATIONS WILL HAVE A RANDOMLY SELECTED START WITH CORES AT A SPACING OF APPROXIMATELY, BUT NOT TO EXCEED, 30 METERS.

8.3 FOR OTHER PAVING OPERATIONS, A MINIMUM OF ONE CORE FOR EVERY 250 SQUARE METERS OF ASPHALT MIX PLACED.

9.0 FREQUENCY OF PLASTIC CONCRETE TESTS FOR SIDEWALK SHALL BE ONE TEST PER 30 LINEAL METERS OF A MINIMUM OF ONE PER DAY.

10.0 FREQUENCY OF PLASTIC CONCRETE TESTS FOR CURB AND GUTTER SHALL BE ONE TEST PER 50 LINEAL METERS OF A MINIMUM OF ONE PER DAY.

## GRADING NOTES:

1.0 ALL ELEVATIONS AND DIMENSIONS ARE METRIC.

2.0 SITE PREPARATION, STRIPPING, EXCAVATION AND OPERATIONS TO BE REVIEWED BY A GEOTECHNICAL ENGINEER AND ALL WORKS TO BE CARRIED OUT IN ACCORDANCE WITH GEOTECHNICAL RECOMMENDATIONS.

3.0 CUT AND FILL SLOPES TO BE REVIEWED AND APPROVED BY GEOTECHNICAL ENGINEER.

4.0 ALL SITE GRADES SHOWN ARE FINISHED GRADING ELEVATIONS AND ARE TO BE REVIEWED BY GEOTECHNICAL ENGINEER.

## STORM &amp; SANITARY NOTES:

1.0 ALL STORM AND SANITARY PIPES LESS THAN OR EQUAL TO 150mm<sup>0</sup> SHALL BE PVC SDR 28 UNLESS OTHERWISE NOTED. ALL STORM AND SANITARY PIPES GREATER THAN 150mm<sup>0</sup> SHALL BE PVC SDR 35 UNLESS OTHERWISE NOTED. REFER TO PLANS DETAILS AND SPECIFICATIONS REGARDING SEWER FITTINGS AND APPURTENANCES. CONTACT THE PRIMARY PROJECT CONTACT REGARDING USE OF SUITABLE MAIN FITTINGS IF NOT SPECIFIED IN PLAN, DETAIL OR PROJECT SPECIFICATION. MINIMUM COVER SHALL BE 1.0 METERS FOR ANY SANITARY MAIN UNLESS OTHERWISE STATED.

13.0 BUILDING CONTRACTOR IS RESPONSIBLE FOR CONFIRMING ALL DRIVEWAY LOCATIONS PRIOR TO CONSTRUCTION AND IS RESPONSIBLE FOR ANY NECESSARY WATER SERVICE CONNECTION RELOCATIONS.

14.0 REPORT ANY DISCREPANCIES TO THE CONSULTING ENGINEER, PRIOR TO CONSTRUCTION.

15.0 THE CONTRACTOR SHALL SUPPLY ALL MATERIALS AND FITTINGS REQUIRED FOR THE TIE-IN OF THE NEW WATER MAINS BY THE CITY.

2.0 ALL MANHOLE AND CATCH BASIN LIDS SHOWN ON CONTRACT DRAWINGS ARE TO FINISHED GRADE ELEVATIONS.

3.0 ALL CATCH BASIN/LAWN BASIN LEADS TO BE 150mm IN DIAMETER AT 1.0% SLOPE MIN UNLESS OTHERWISE NOTED. DOUBLE CATCH BASIN LEADS TO BE 250mm IN DIAMETER @1.0% SLOPE MIN UNLESS OTHERWISE STATED.

4.0 OFFSET OF ALL INSPECTION CHAMBERS (I.C.) TO BE IN ACCORDANCE WITH THE CURRENT CITY OF COQUITLAM SUPPLEMENTARY SPECIFICATIONS, MMCD, AND CITY DETAIL DRAWINGS..

5.0 ALL EXISTING SERVICE CONNECTIONS ARE TO BE FLUSHED TO ENSURE PROPER WORKING ORDER AND REPLACED IF NECESSARY.

6.0 MARK ALL CAPPED STUB ENDS WITH STAKE IN ACCORDANCE WITH MMCD.

7.0 FLOW ARROWS SHOWN ON PLAN PROVIDE DIRECTION OF FLOW DOWNHILL.

8.0 STORM SEWER TO BE PVC PIPE PER CSA. C/W GASKETS (UNLESS OTHERWISE NOTED)..

9.0 ALL MANHOLES BARRELS SHALL BE 1050mm DIAMETER UNLESS NOTED OTHERWISE.

10.0 STANDARD TOP-INLET CATCH BASINS SHALL BE INSTALLED AS PER MMCD STD. S11 (600mm DIAMETER).

11.0 ALL LAWN BASINS SHALL BE IN ACCORDANCE WITH MMCD STD. DET. S12 TYPE 2.

12.0 ALL WYES TO BE MANUFACTURED UNLESS OTHERWISE NOTED.

13.0 EXISTING INVERTS MUST BE VERIFIED IN THE FIELD BY CONTRACTOR PRIOR TO ORDERING MATERIALS.

14.0 THE CONTRACTOR SHALL BE RESPONSIBLE IN ENSURING THAT THE FINISHED RIM ELEVATION OF THE STORM AND SANITARY SEWER MANHOLES MATCHES THE FINISHED ROAD GRADES AND ELEVATIONS.

15.0 ALL C.B.'S IN ASPHALT AND PARKING AREAS TO BE 600mm<sup>0</sup> AND SHALL BE CONSTRUCTED WITH DONUT FRAME AND GRATE TO SUPPORT H2O LOADING.

16.0 STORM AND SANITARY CONNECTIONS ARE TO TERMINATE 1m FROM BUILDINGS AND HAVE 1M OF COVER. SEE MECHANICAL ENGINEER'S DRAWINGS FOR CONFIRMATION OF LOCATION, DESIGN AND REQUIREMENT OF INSPECTION CHAMBERS OR STORM SUMPS ARE THE RESPONSIBILITY OF THE MECHANICAL ENGINEER.

17.0 ALL BUILDING CORNERS AND LANDSCAPING FEATURES (INCL. FENCING) TO BE STAKED PRIOR TO SITE SERVICING.

18.0 MANHOLES LIDS TO BE ORIENTED TO AVOID CURBS AND UNIT PAVER PLACEMENTS (SEE PAVING PLAN).

19.0 STORM SEWERS SHALL BE CCTV VIDEO INSPECTED PER MMCD SPECIFICATIONS.

20.0 SANITARY SEWERS SHALL BE PRESSURE TESTED AND VIDEO INSPECTED PER MMCD SPECIFICATIONS.

21.0 UNLESS PRIOR APPROVAL IS GIVEN TO THE DEVELOPER BY THE CITY, TIE-INs AND CONNECTIONS TO EXISTING SANITARY SEWERS ARE TO BE PERFORMED BY THE CITY AT THE DEVELOPER'S COST.

22.0 ALL GRANULAR PIPE BEDDING SHALL BE EITHER TYPE 1 ONLY OR AS PER THE CITY SPECIFICATIONS.

23.0 ALL MANHOLES TO BE INSTALLED PER MMCD STD. DET. S1, MANHOLE CONNECTIONS TO BE INSTALLED AS PER MMCD STD. DET. S2, AND MANHOLE INSIDE RAMP CONNECTIONS TO BE INSTALLED PER MMCD STD. DET. S3. MANHOLE INSIDE DROP CONNECTIONS PER CITY OF COQUITLAM STD. DET. COQ-S4.

24.0 EXISTING INVERTS TO BE VERIFIED IN THE FIELD PRIOR TO COMMENCING CONSTRUCTION.

25.0 ALL STORM AND SANITARY SYSTEMS TO BE IN ACCORDANCE WITH B.C. BUILDING CODE (2024).

26.0 ALL BUILDING CORNERS AND FEATURES (INCL. FENCING) TO BE STAKED PRIOR TO SITE SERVICING.

27.0 SANITARY AND STORM SEWER BEDDING AND BACKFILL SPECIFICATIONS PER CITY OF COQUITLAM STD. DET. COQ-G4.

28.0 STORM AND SANITARY MAIN BEDDING AND BACKFILL SPECIFICATION PER CITY OF COQUITLAM STD. DET. COQ-G4

16.0 CONTRACTOR TO PROVIDE THIRD PARTY TEST RESULTS FOR CHLORINATION TEST, PRESSURE TEST, AND BACTERIOLOGICAL TEST FOR ALL WATERWORKS.

**VDZ+A**  
LANDSCAPE ARCHITECTURE | CIVIL ENGINEERING | URBAN FORESTRY  
FORT LANGLEY STUDIO MOUNT PLEASANT STUDIO  
100-9181 Church St 102-355 Kingsway  
Fort Langley, BC Vancouver, BC  
V1M 2R8 V3T 3J7  
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NOT FOR CONSTRUCTION

7	TW	Issued for Tender
6	TW	Issued for Tender
5	TW	Issued for Tender
4	TW	Issued for Tender
3	TW	Issued for 90% CD
2	TW	Issued for 50% CD
1	TW	Issued for 25% CD
No.	By:	Description

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No.	By:	Description

REVISIONS TABLE FOR SHEET

Project:  
MACKIN PARK BALLFIELDSLocation:  
1046 BRUNETTE AVENUE  
COQUITLAM, B.C.Drawn:  
ABStamp:  
PP-NOT-1001970  
PROFESSIONAL  
ENGINEER  
T.G. WEBER  
P.E.

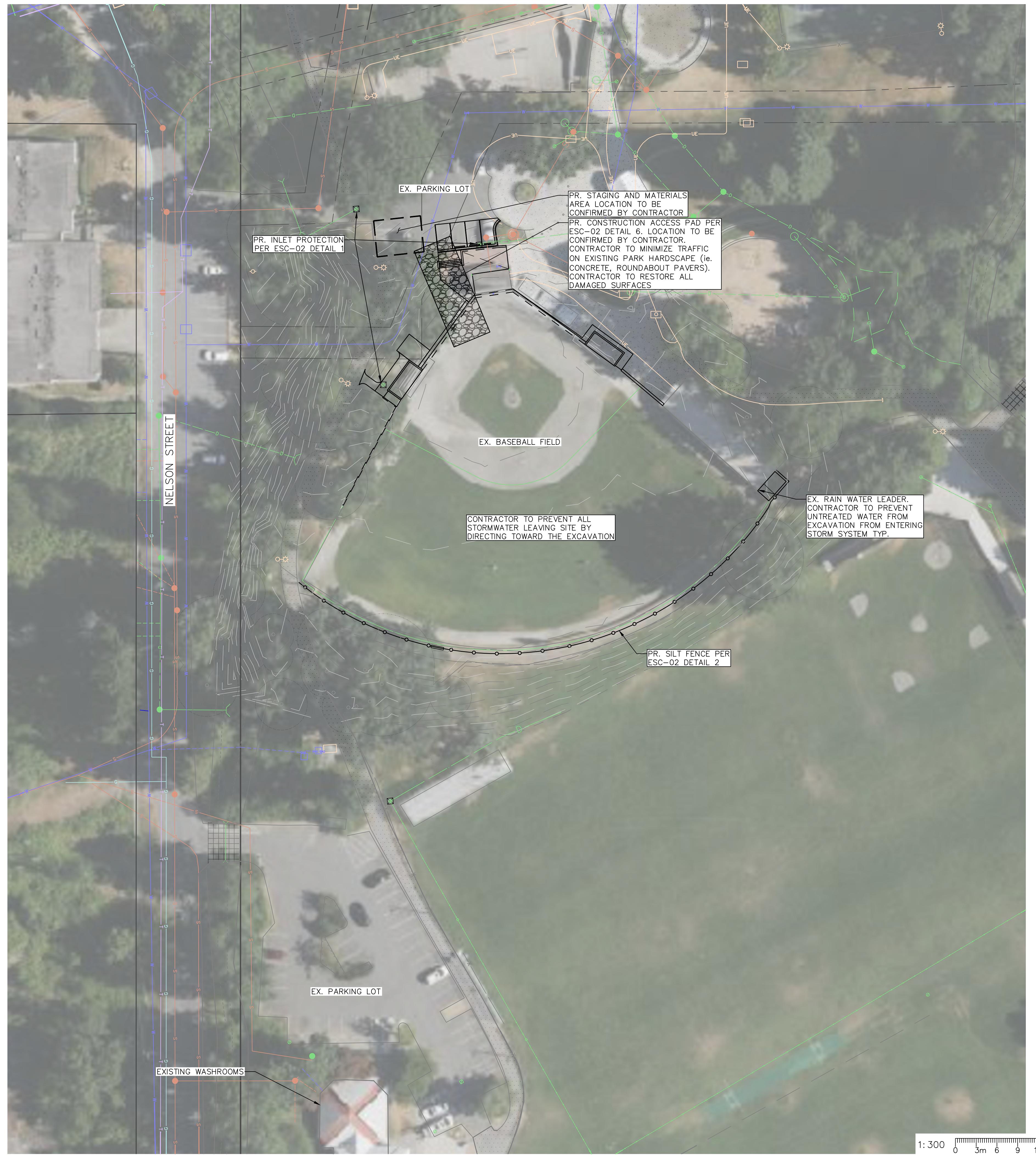
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Approved:  
TWOriginal Sheet Size:  
24" x 36"Scale:  
NTSDrawing Title:  
CIVIL NOTESPR2024-20  
Drawing #:

CN-01



Drawing #:



ESC LEGEND		
SYMBOL	DESCRIPTION	
—○—	PROPOSED SILT FENCING	
□	INLET SILT PROTECTION	
◎	WATER QUALITY MONITORING STATION	

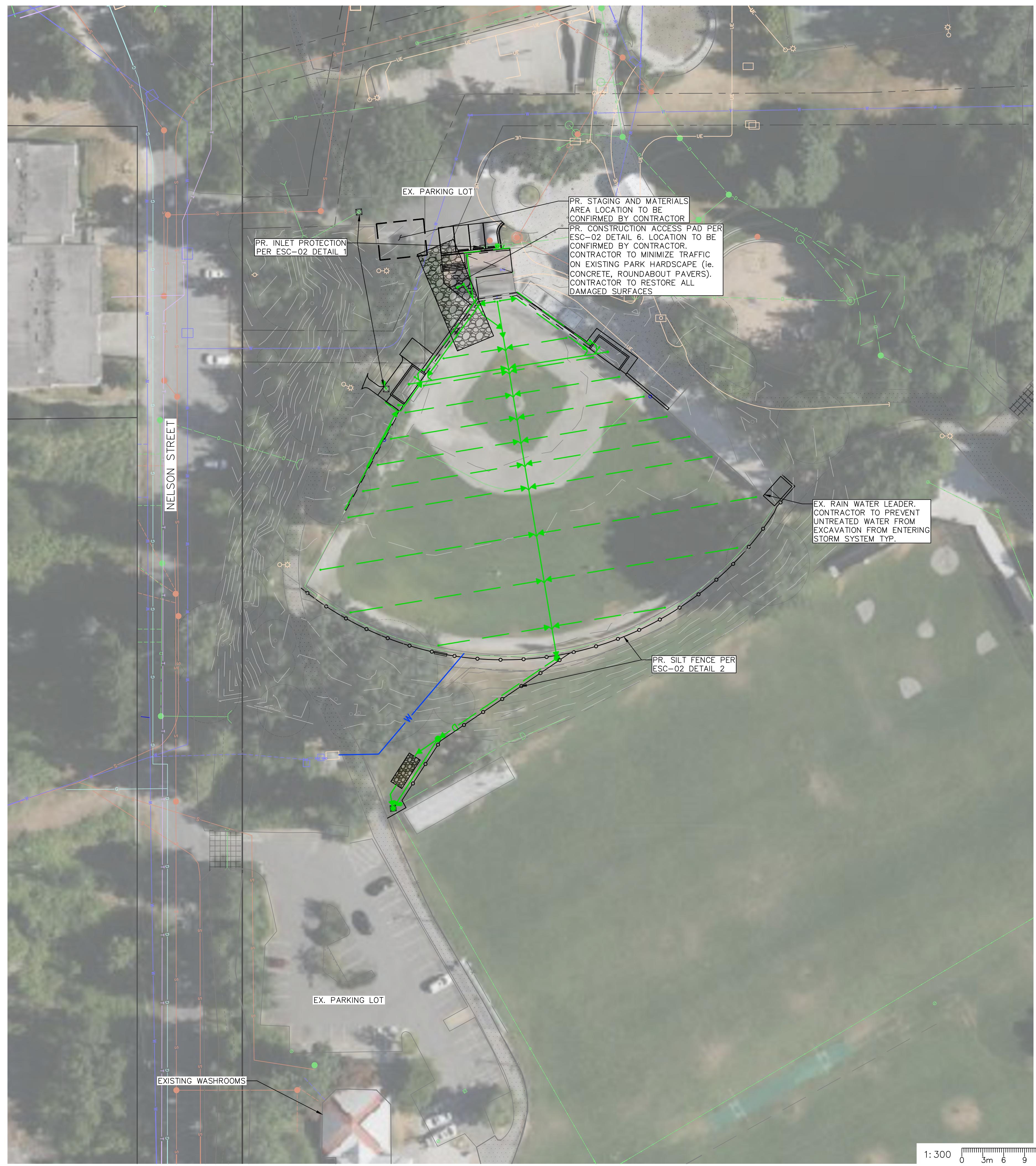
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No.	By:	Description	Date
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6	TW	Issued for Tender	Jan. 19, 2026
5	TW	Issued for Tender	Dec. 03, 2025
4	TW	Issued for Tender	Jul. 28, 2025
3	TW	Issued for 90% CD	Jun. 19, 2025
2	TW	Issued for 50% CD	Apr. 02, 2025
1	TW	Issued for 25% CD	Feb. 07, 2025
No.	By:	Description	Date

**REVISIONS TABLE FOR SHEET**

Project:	MACKIN PARK BALLFIELDS	
Location:	1046 BRUNETTE AVENUE COQUITLAM, B.C.	
Drawn:	AB	Stamp: PP-NOT-1001970 T.G. WEBER PROFESSIONAL ENGINEER PP No.: 1001970
Checked:	TW	
Approved:	TW	Original Sheet Size: 24" x 36"
Scale:	1:300	CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCY TO THE CONSULTANT BEFORE COMMENCING WORK. ALL SPECIFICATIONS ARE THE EXCLUSIVE PROPERTY OF THE OWNER AND MUST BE RETAINED BY THE CONTRACTOR UNTIL THE WORK IS RECONTRACTED. DRAWINGS MUST NOT BE PRICED FOR CONSTRUCTION UNLESS LABELED ISSUED FOR TENDER/CONSTRUCTION.





ESC LEGEND		
SYMBOL	DESCRIPTION	
—○—	PROPOSED SILT FENCING	
□	INLET SILT PROTECTION	
◎	WATER QUALITY MONITORING STATION	

**NOT FOR CONSTRUCTION**

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1	TW	Issued for 25% CD	Feb. 7, 2025
No.	By:	Description	Date

**REVISIONS TABLE FOR SHEET**

**Project:** MACKIN PARK BALLFIELDS

**Location:** 1046 BRUNETTE AVENUE COQUITLAM, B.C.

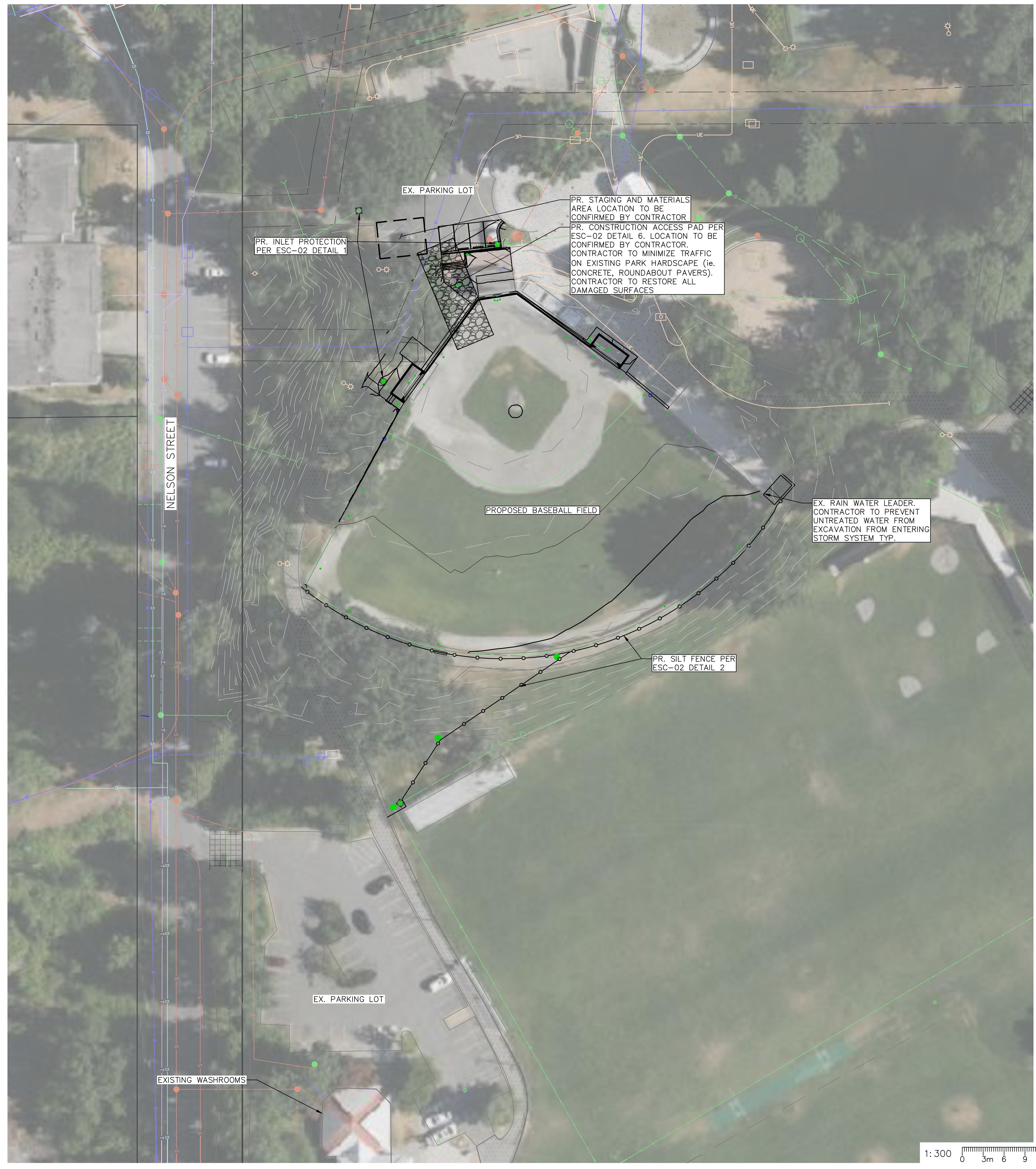
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PROFESSIONAL  
ENGINEER  
PP No.: 1001970

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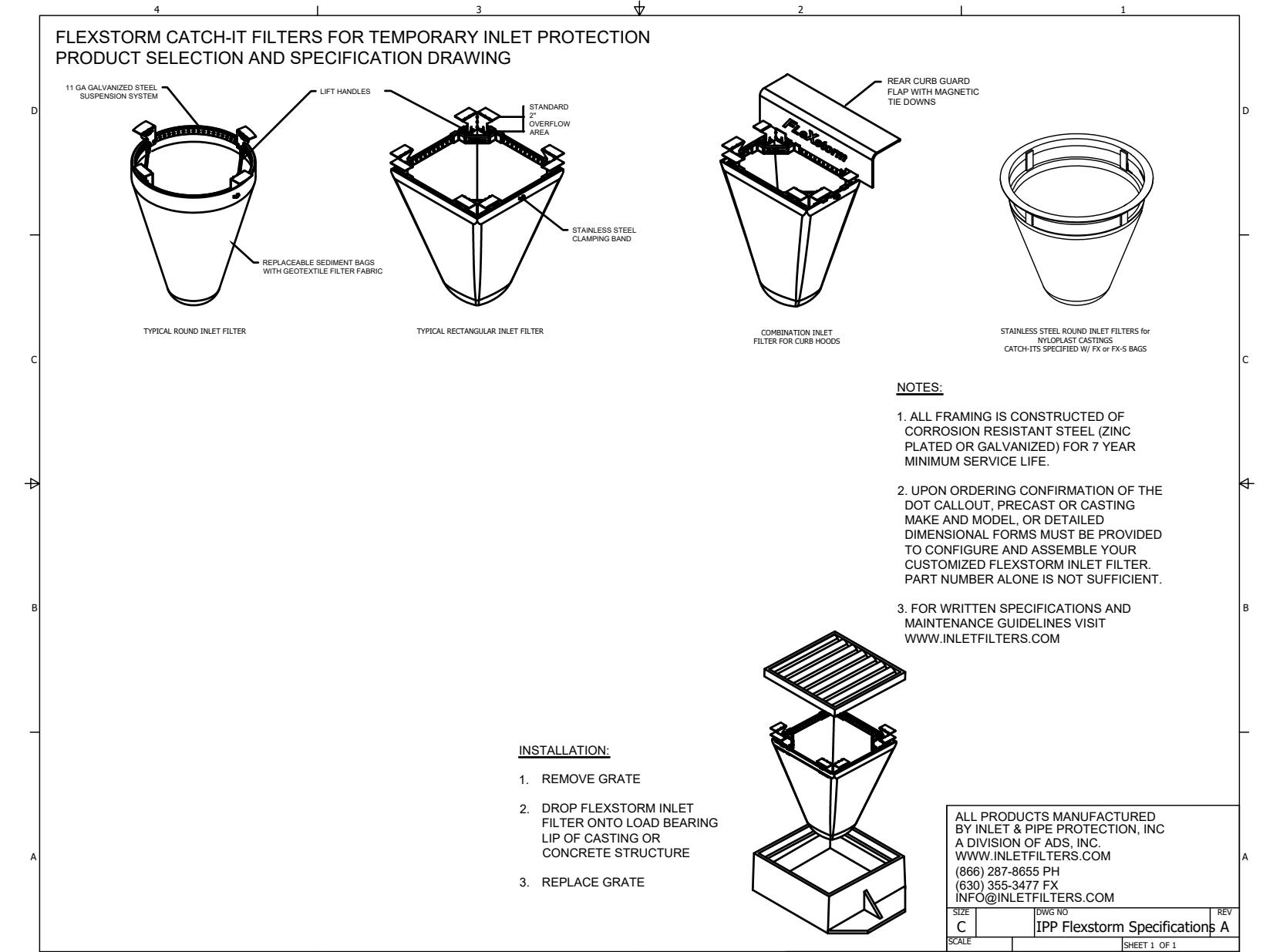
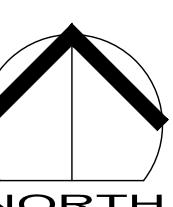
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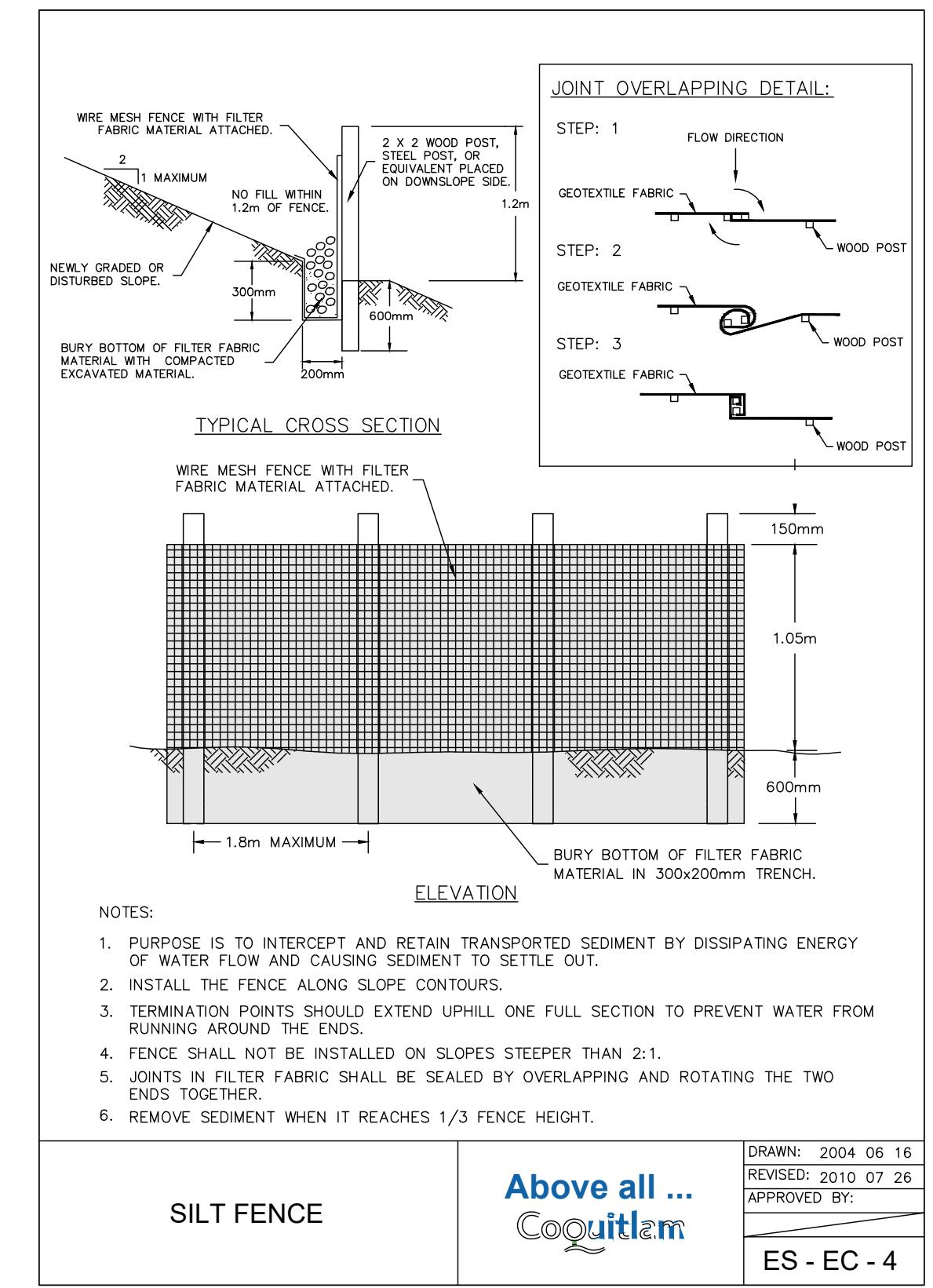
ESC LEGEND			
SYMBOL	DESCRIPTION		
—○—	PROPOSED SILT FENCING		
□	INLET SILT PROTECTION		
◎	WATER QUALITY MONITORING STATION		
NOT FOR CONSTRUCTION			
7	TW	Issued for Tender	Feb. 02, 2026
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No.	By:	Description	Date
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No.	By:	Description	Date
REVISIONS TABLE FOR SHEET			
Project: MACKIN PARK BALLFIELDS			
Location: 1046 BRUNETTE AVENUE COQUITLAM, B.C.			
Drawn:	AB	Stamp:	PP-NOT-1001970 PROFESSIONAL T.G. WEBER ENGINEER PP No.: 1001970
Checked:	TW		
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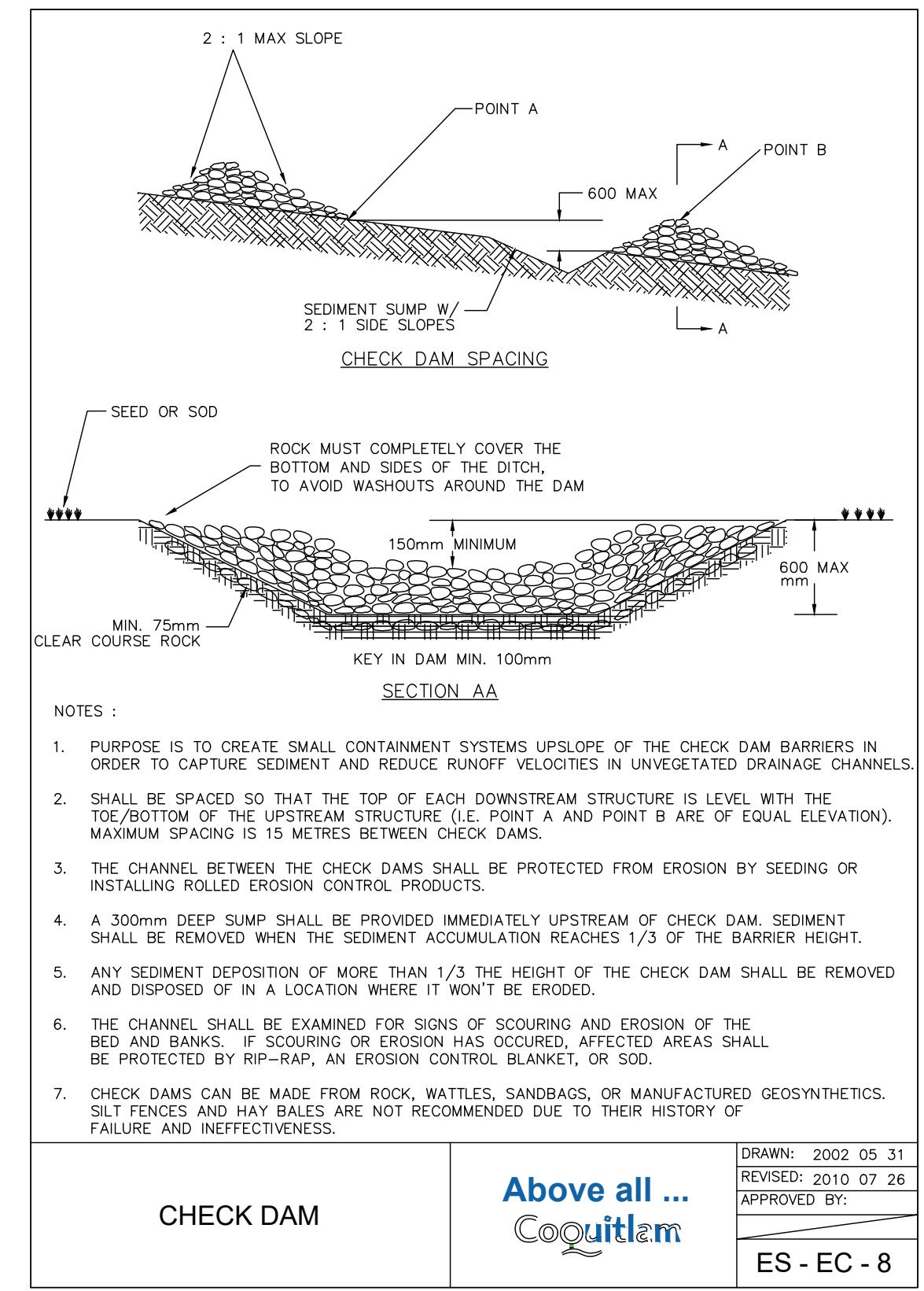
1 STORM INLET FILTER (TYP.)

SCALE: NTS



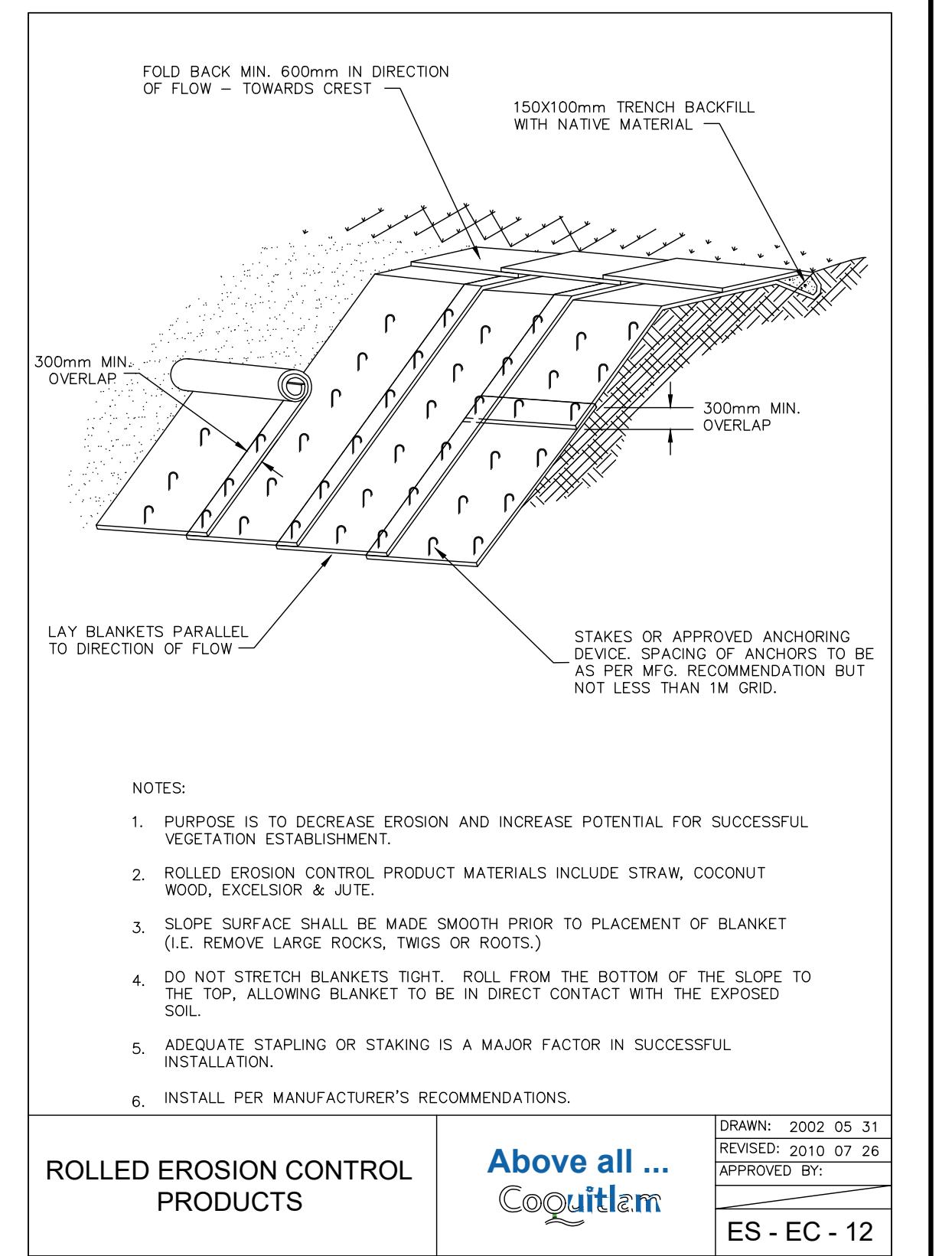
2 SILT FENCE

SCALE: NTS



3 CHECK-DAM

SCALE: NTS



4 ROLLED EROSION CONTROL PRODUCTS

SCALE: NTS

NOT FOR CONSTRUCTION

7	TW Issued for Tender	Feb. 02, 2026
6	TW Issued for Tender	Jan. 19, 2026
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1	TW Issued for 25% CD	Feb. 7, 2025
No.	By: Description	Date

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No. By: Description Date

REVISIONS TABLE FOR SHEET

Project: MACKIN PARK BALLFIELDS

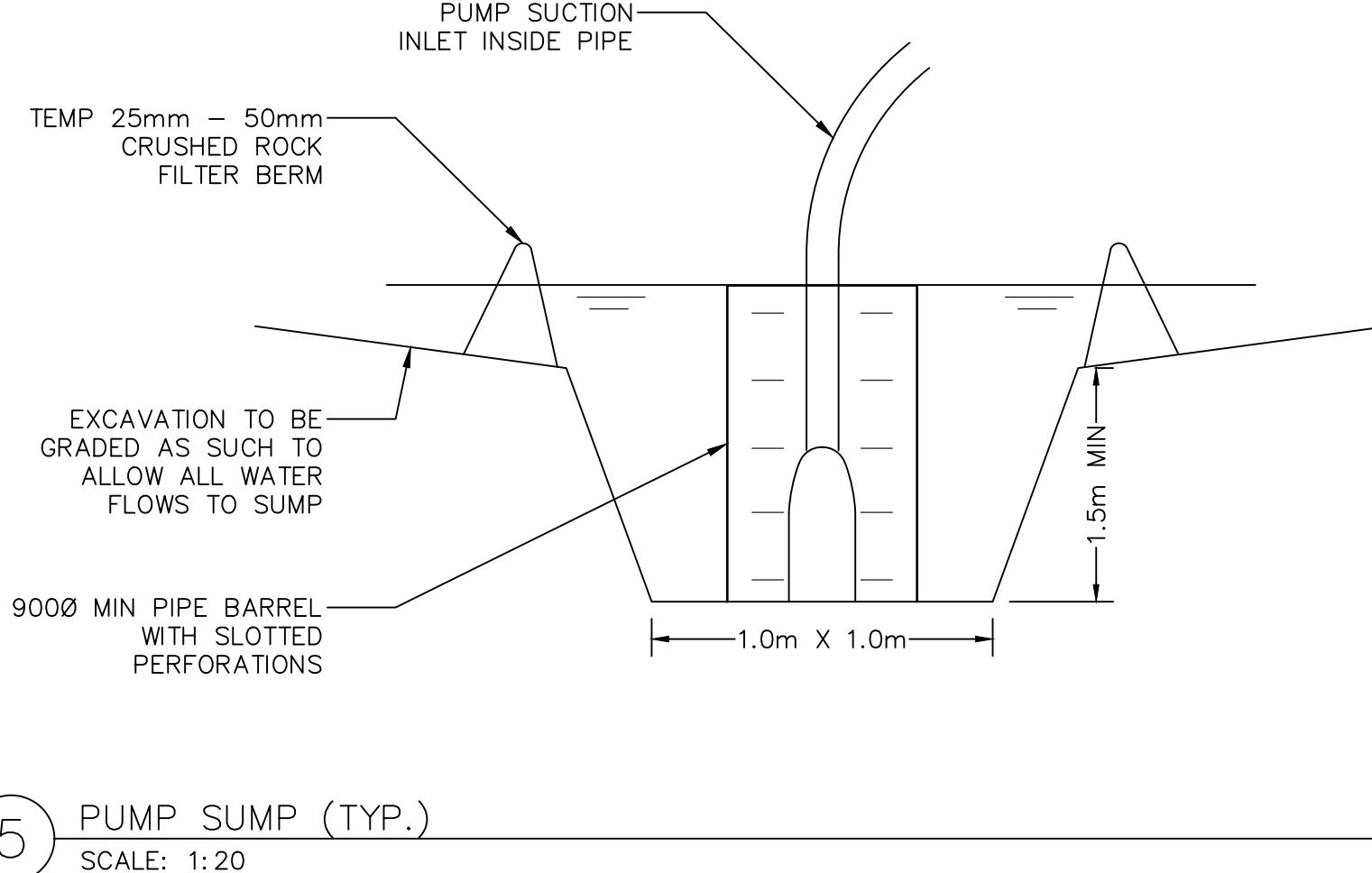
Location: 1046 BRUNETTE AVENUE COQUITLAM, B.C.

Drawn: SF Stamp: PP-NOT-1001970

Checked: TW PP No: 1001970

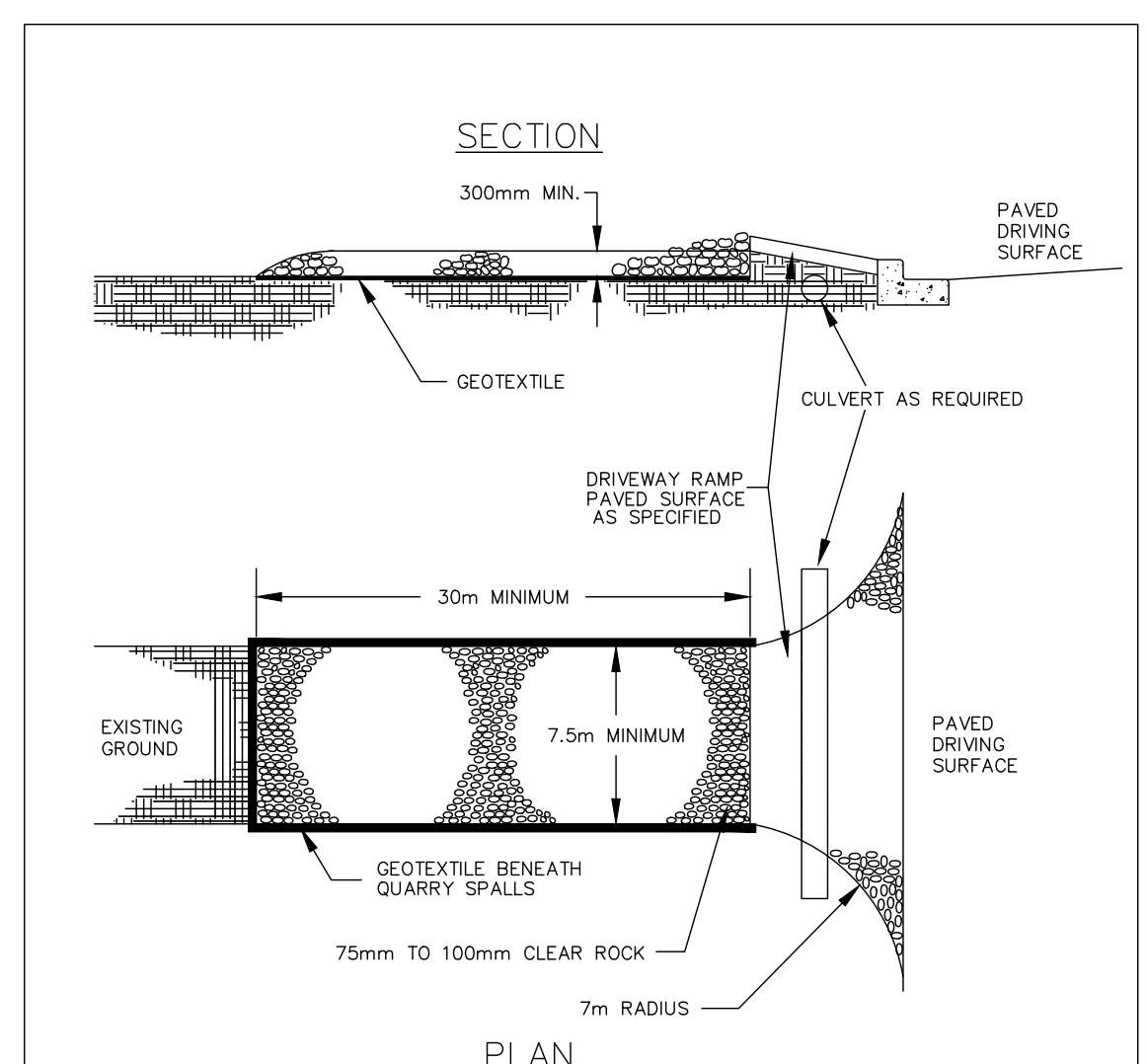
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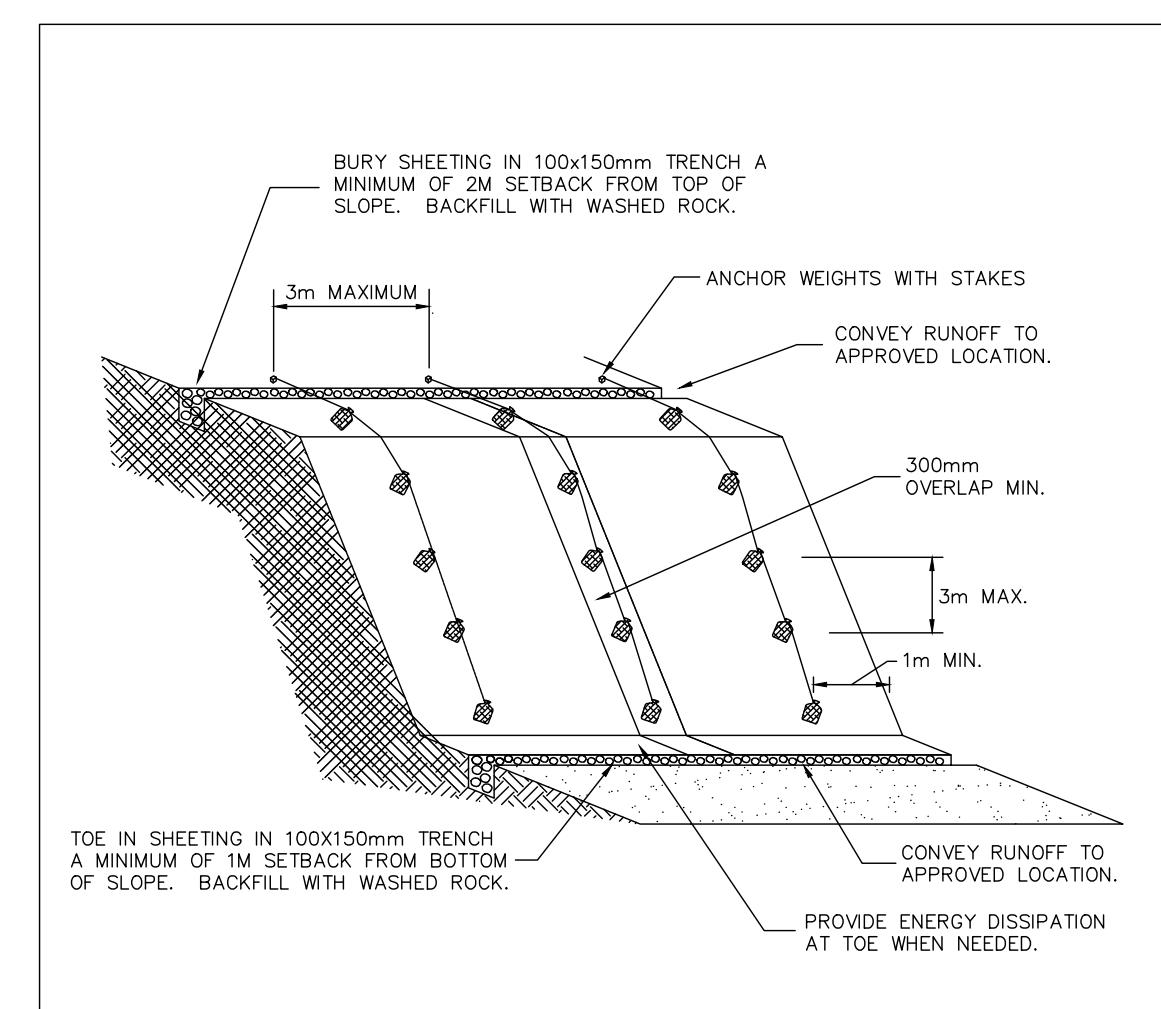
5 PUMP SUMP (TYP.)

SCALE: 1:20



6 CONSTRUCTION ACCESS PAD

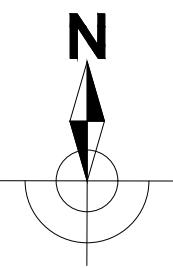
SCALE: NTS



7 PLASTIC COVERING FOR SLOPES AND STOCKPILES

SCALE: NTS





## LEGEND

SYMBOL	DESCRIPTION
○	IRRIGATION CONTROLLER - TORO SENTINEL DXI, CONVENTIONAL WIRED 24V, CABINET TO BE STAINLESS STEEL WALL MOUNT - with DXI-CELL-KIT & ANTENNA, and DXI-RADIO-KIT for UHF. CONT. MODEL: DXI-SVM08 & (2x) DXI-OPB08-KIT
○○○	RAINBIRD 6504-PC/FC-SS SERIES, 125mm LARGE POP-UP ROTOR with RAIN CURTAIN NOZZLES - Per Plan - TYP.
○	RAINBIRD PEB SERIES SERIES ECV with 24V, SOLENOID & PRS-DIAL PRV Pre-Installed - Size per Plans - TYP.
■○○	RAINBIRD 9RC SERIES 25mm QUICK COUPLER VALVE
■	TOYO 206A R&W ISOLATION GATE VALVE, Size per Pipe
□	75mm POINT OF CONNECTION - Per CoC Specifications - TYP.
—	75mm SCH40 PVC - CSA MAINLINE PIPE - SOLVENT WELD
—	25mm - 50mm SCH40 PVC - CSA LATERAL PIPE - SW
—	50mm DB2 PVC WIRE CONDUIT - SAND BEDDED
■■	HOSE BIB - Model: ZURN 34-195XL - Per CoC Specifications
~~~~~	CONVENTIONAL WIRING PATHWAY - CONT. LOCATION T.B.D.

MACKIN PARK BALL DIAMOND RENEWAL  
IRRIGATION SYSTEM DESIGN

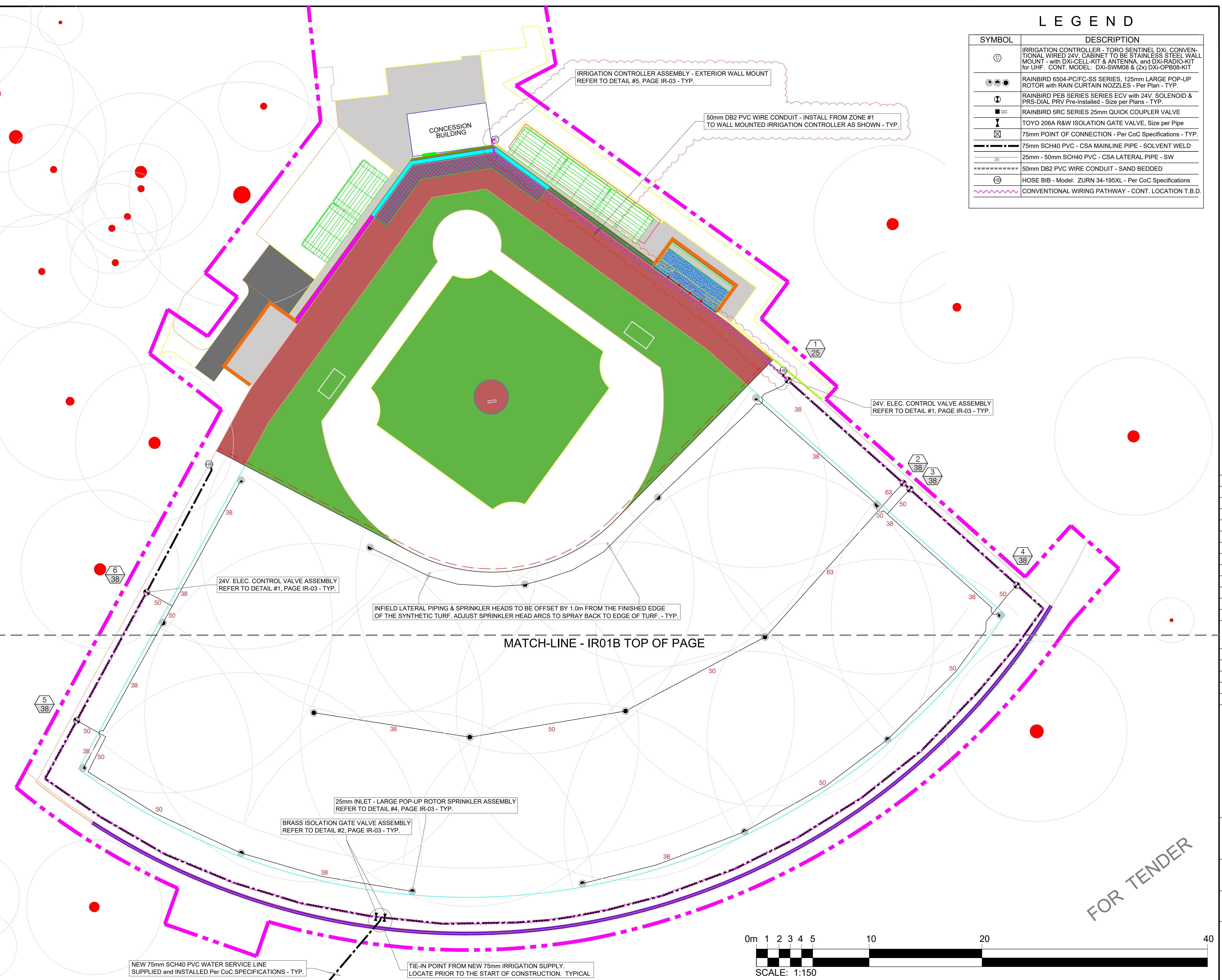
PR2024-20

IR-01A

Drawing #:

VDZ Project #:

Drawing Title:

D n A  
Irrigation Design  
and ConsultingLake Country, B.C.  
250 - 212 - 0352  
dndesign01@gmail.com

No.	By:	Description	Date
7	DEP	Issued for Tender	2026-02-02
6	DEP	Issued for Tender Review	2026-01-14
5	DEP	Re-Issued for Final 100% Review	2025-12-03
4	DEP	Issued for Final 100% Review	2025-12-02
3	DEP	Issued for 100% Review	2025-11-20
2	DEP	Issued for 95% Review	2025-08-05
1	DEP	Re-Issued for 90% Review	2025-06-20
0	DEP	Issued for 90% Review	2025-06-19
No.	By:	Description	Date

## REVISIONS TABLE FOR DRAWINGS

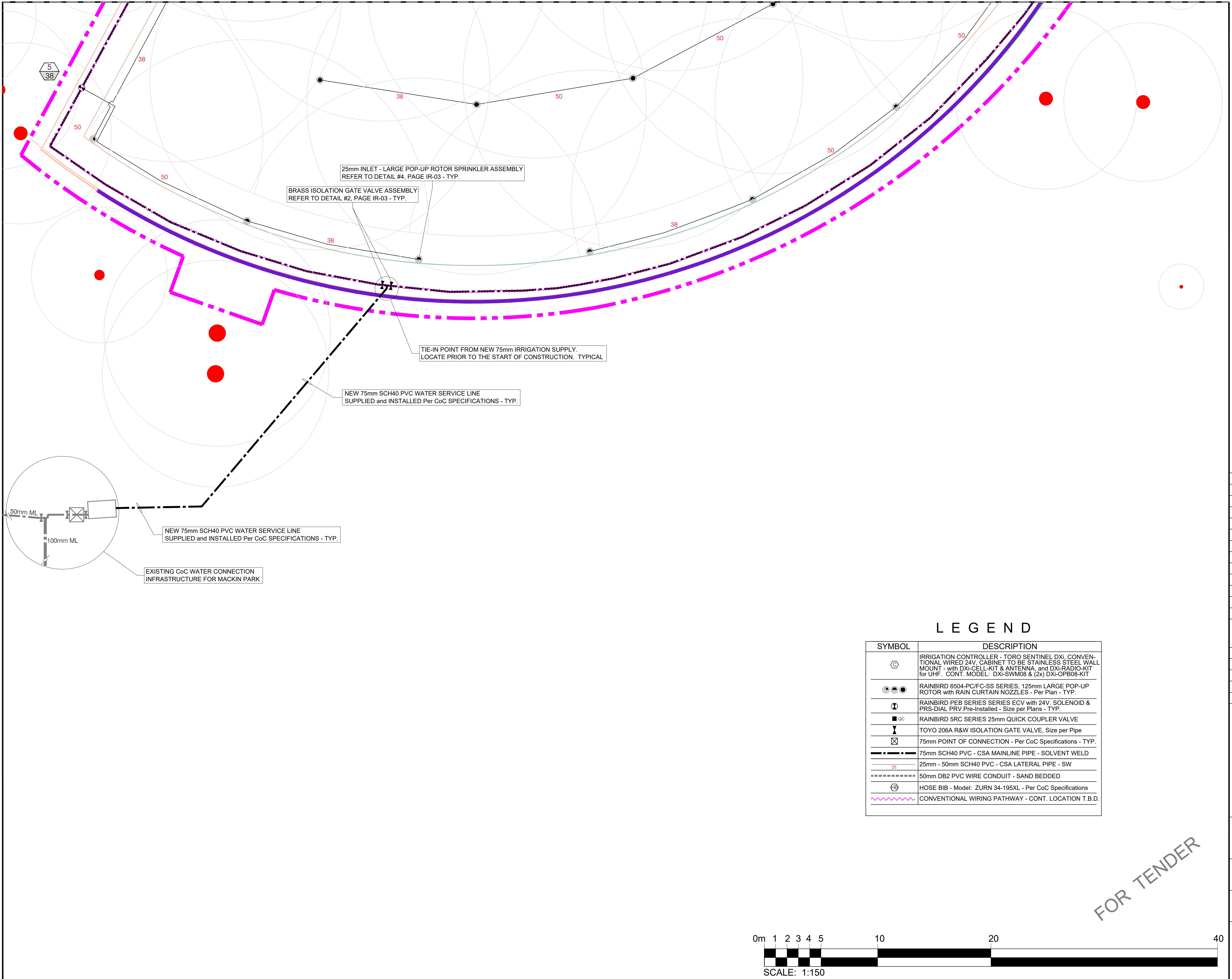
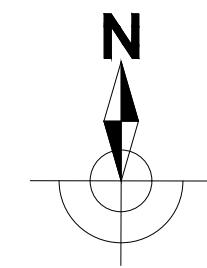
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5	DEP	Updated Water Source Notes	2026-01-14
4	DEP	Revised Infield Turf Edge Radius	2025-12-03
3	DEP	Updated Water Source Location	2025-12-02
By:	Description	Date	

## REVISIONS TABLE FOR SHEET

Project:  
Mackin Park Ball Diamonds  
City of Coquitlam

Location:  
1046 Brunette Ave.  
Coquitlam, BC

Drawn: D.E.P.	Stamp:
Checked: AM	
Approved: AM	Original Sheet Size: 24" x 36"
Scale: 1:150	CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCY TO THE CONSULTANT BEFORE PROCEEDING. ALL WORK IS THE EXCLUSIVE PROPERTY OF THE OWNER AND MUST BE RETURNED AT THE COMPLETION OF THE PROJECT. THESE DRAWINGS AND COPIES THEREOF DRAWINGS MUST NOT BE PRICED FOR CONSTRUCTION UNLESS LABELED ISSUED FOR TENDER/CONSTRUCTION.



6	DEP	Issued for Tender	2026-02-02
5	DEP	Issued for Tender Review	2026-01-14
4	DEP	Issued for Final 100% Review	2025-12-02
3	DEP	Issued for 100% Review	2025-11-20
2	DEP	Issued for 95% Review	2025-08-05
1	DEP	Re-Issued for 90% Review	2025-06-20
0	DEP	Issued for 90% Review	2025-06-19
No.	By:	Description	Date

REVISIONS TABLE FOR DRAWINGS			
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4	DEP	Updated Water Source Notes	2026-01-14
3	DEP	Updated Water Source Location	2025-12-02
2	DEP	Updated Base Plan & Layout	2025-11-20
By:	Description	Date	

REVISIONS TABLE FOR SHEET			
Project: Mackin Park Ball Diamonds City of Coquitlam			

Location:	1046 Brunette Ave. Coquitlam, BC
Drawn:	Stamp:
D.E.P.	
Checked:	AM

Approved:	Original Sheet Size: 24" x 36"
Scale:	1:150

CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCY TO THE CONSULTANT BEFORE PROCEEDING. ALL DRAWINGS ARE THE EXCLUSIVE PROPERTY OF THE OWNER AND MUST BE RETURNED AT THE COMPLETION OF THE PROJECT. THIS DRAWING IS A TENDER DRAWING. DRAWINGS MUST NOT BE PRICED FOR CONSTRUCTION UNLESS LABELED ISSUED FOR TENDER/CONSTRUCTION.

PR2024-20

IR-01B

VDZ Project #:

Drawing #:

MACKIN PARK BALL DIAMOND RENEWAL  
IRRIGATION SYSTEM DESIGN

Drawing Title:

## IRRIGATION INSTALLATION NOTES

- ALL IRRIGATION PRODUCTS, MATERIALS AND INSTALLATIONS ARE TO FOLLOW THE CITY OF COQUITLAM IRRIGATION STANDARD SPECIFICATIONS INCLUDED WITH THE DESIGN PACKAGE.
- THE IRRIGATION SYSTEM DESIGN IS BASED ON A MAXIMUM OF (60) U.S.G.P.M. & (80) PSI AVAILABLE AT THE POINT OF CONNECTION. THE CONTRACTOR IS TO VERIFY THE SAME AND NOTIFY THE OWNER'S REPRESENTATIVE IN WRITING PRIOR TO START OF WORK.
- THE IRRIGATION SYSTEM DESIGN BASED UPON A MIN. WEEKLY REQUIREMENT OF 38mm. PEAK ET OCCURRING IN JULY/AUG OF 5.20mm.
- PRECIPITATION RATES FOR TURF AREAS IS BASED UPON AN AVERAGE OF NOZZLE SIZES. ALWAYS USE MATCHED NOZZLES.
- DESIGN DAILY RUN TIMES ARE BASED UPON A (5) FIVE DAY per WEEK WATERING SCHEDULE. BASED ON (1) ONE YEAR GROW IN PERIOD.
- A MAX. WATER WINDOW OF (3) THREE Hrs. IS REQ'D FOR THE IRRIGATION SYSTEM AS DESIGNED.
- POP UP SPRINKLER SPACING IS NOT TO EXCEED 50% ACCOUNTING FOR A MINIMUM 4 MPH WIND FACTOR.
- PIPING SHOWN IS FOR SCHEMATIC PURPOSES. NO CROSSING OF ANY PIPING IS ALLOWED. MAXIMUM 2 PIPES per TRENCH SIDE BY SIDE WITH Min. 50mm CLEARANCE.
- INSTALL ALL CONVENTIONAL 24V. WIRING TO A MIN. BURY DEPTH OF 450mm with PIPING COVER or 600mm WITHOUT PIPING COVER. BED ALL WIRE WITH 150mm CLEAN, ROCK FREE SAND. ALL CONTROL WIRE TO BE TWU-40 #14 GAUGE (CONSISTENTLY ONE COLOR per ZONE), COMMON TO BE TWU-40 #12 GAUGE (CONSISTENTLY WHITE ONLY)
- INSTALL ALL ELECTRICAL CONDUIT AS per PLANS. USE CSA NON-METALLIC DB2 PVC CONDUIT - GREY IN COLOR. SIZES as SHOWN ON DESIGN.
- INSTALL ALL ELECTRIC CONTROL VALVES (ECV's) WITH MINIMUM 50mm CLEARANCE AROUND THE VALVE AND BETWEEN THE VALVE AND THE VALVE BOX. ENSURE ADEQUATE (Min. 50mm) CLEARANCE BETWEEN THE BOTTOM OF THE EVC AND THE DRAIN ROCK FOR MAINTENANCE PURPOSES.
- ALL WIRE SPLICES ARE TO BE MADE WITH 3M-DBY/R WATER PROOF CONNECTIONS AND TO BE LOCATED AT AN ECV OR IN A VALVE BOX.
- THE WIRE RUNS ARE TO BE INSTALLED WITH A Min. OF 600mm LENGTH OF WIRE COILED UP SLACK AT EVERY CHANGE OF DIRECTION, IN WIRE SPLICE BOXES AND AT ALL CONNECTIONS MADE TO VARIOUS ELECTRICALLY CONTROLLED COMPONENTS.
- ALL SPRINKLERS ARC's AND RADIUS's ARE TO BE ADJUSTED TO MINIMIZE OVER SPRAY ONTO ADJACENT HARD SURFACES.
- ALL SPRINKLERS TO BE INSTALLED WITH SCH40 PVC TRIPLE PVC SWING JOINTS AND SCH80 PVC NIPPLES.
- INSTALL ALL SCH40 PVC MAINLINE PIPE AT A MINIMUM OF 600mm BURY DEPTH - TOP OF PIPE. BED PIPE WITH 150mm OF CLEAN, ROCK FREE SAND.
- INSTALL ALL SCH40 PVC LATERAL PIPING AT A MINIMUM OF 450mm BURY DEPTH - TOP OF PIPE. BED PIPE WITH 100mm OF CLEAN, ROCK FREE SAND.
- ASSEMBLY & INSTALLATION OF ALL COMPONENTS ARE TO FOLLOW THE DETAILS & SPECIFICATIONS LISTED ON PAGE IR-03.
- THE CONTRACTOR IS TO VERIFY THE LOCATION(S) OF ALL ON-SITE UTILITIES. RESTORATION OF DAMAGED UTILITIES SHALL BE MADE AT THE CONTRACTOR'S EXPENSE TO THE SATISFACTION OF THE CONTRACT ADMINISTRATOR and/or THE OWNER'S REPRESENTATIVE.
- THE CONTRACTOR IS TO INSTALL SLEEVING FOR IRRIGATION PIPING AND ELECTRICAL WIRING UNDER ALL WALKWAYS, DRIVEWAYS, WALLS (ROCK or BRICK). WATER LINES AND ELECTRICAL WIRES SHALL NOT SHARE THE SAME SLEEVE. MINIMUM SLEEVE TO BE 2x PIPE DIA.
- THE CONTRACTOR MUST BE QUALIFIED TO INSTALL LARGE SCALE, COMMERCIAL IRRIGATION SYSTEMS. THE CONTRACTOR MUST HAVE A MINIMUM OF (5) FIVE YEARS INSTALLATION EXPERIENCE AND BE A MEMBER IN GOOD STANDING WITH THE IRRIGATION INDUSTRY ASSOCIATION OF B.C. (I.I.A.B.C.)
- THE CONTRACTOR IS RESPONSIBLE FOR CHECKING AND CONFIRMING ALL DIMENSIONS or ELEVATIONS SHOWN ON DRAWINGS. WHERE ANY DISCREPANCIES OCCUR, THE CONTRACTOR SHALL INFORM THE CONTRACT ADMINISTRATOR IMMEDIATELY.



## IRRIGATION SCHEDULE & ZONE DATA

### Mackin Park Ball Diamond

BASED ON PEAK ET DEMANDS FOR JULY/AUGUST ET = 5.2mm/DAY									
STA. #	ZONE DESCRIPTION	SPRINKLER MAKE, MODEL & TYPE	NOZZLE TYPE	ECV SIZE	DESIGN PSI ECV SETTING	DESIGN FLOW U.S.G.P.M.	PRECIPITATION RATE in/hr	RUN DAYS	PROGRAM DAYS
1	LARGE POP-UP ROTOR-PC	RAINBIRD 6504-SAM-PRS	#14	38mm	70	45.0	0.82	5	EVEN 22
2	LARGE POP-UP ROTOR-FC	RAINBIRD 6504-SAM-PRS	#14	38mm	70	60.0	0.82	5	EVEN 22x2
3	LARGE POP-UP ROTOR-PC	RAINBIRD 6504-SAM-PRS	#14	38mm	70	45.0	0.82	5	EVEN 22
4	LARGE POP-UP ROTOR-PC	RAINBIRD 6504-SAM-PRS	#14	38mm	70	45.0	0.82	5	EVEN 22
5	LARGE POP-UP ROTOR-PC	RAINBIRD 6504-SAM-PRS	#14	38mm	70	30.0	0.82	5	EVEN 22
6	LARGE POP-UP ROTOR-PC	RAINBIRD 6504-SAM-PRS	#14	38mm	70	45.0	0.82	5	EVEN 22

NOTE(S): 1. SCHEDULE TO BE USED FOR 1 YEAR GROW IN PERIOD ONLY

TOTAL DAILY RUN TIME per CYCLE = 154 Minutes / 2.6 Hours

FOR TENDER

**MACKIN PARK BALL DIAMOND RENEWAL  
IRRIGATION SYSTEM NOTES & ZONE DATA**

Drawing Title:

PR2024-20  
VDZ Project #:

IR-02  
Drawing #:

6	DEP	Issued for Tender	2026-02-02
5	DEP	Issued for Tender Review	2026-01-14
4	DEP	Issued for Final 100% Review	2025-12-02
3	DEP	Issued for 100% Review	2025-11-20
2	DEP	Issued for 95% Review	2025-08-05
1	DEP	Re-Issued for 90% Review	2025-06-20
0	DEP	Issued for 90% Review	2025-06-19
No.	By:	Description	Date

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1	DEP	Updated Zone Data	2025-11-20
By:	Description	Date	

**REVISIONS TABLE FOR SHEET**

Project:  
Mackin Park Ball Diamonds  
City of Coquitlam

Location:  
1046 Brunette Ave.  
Coquitlam, BC

Drawn:  
D.E.P.

Stamp:

Checked:  
AM

Approved:  
AM

Original Sheet Size:  
24"X36"

Scale:  
N.T.S.

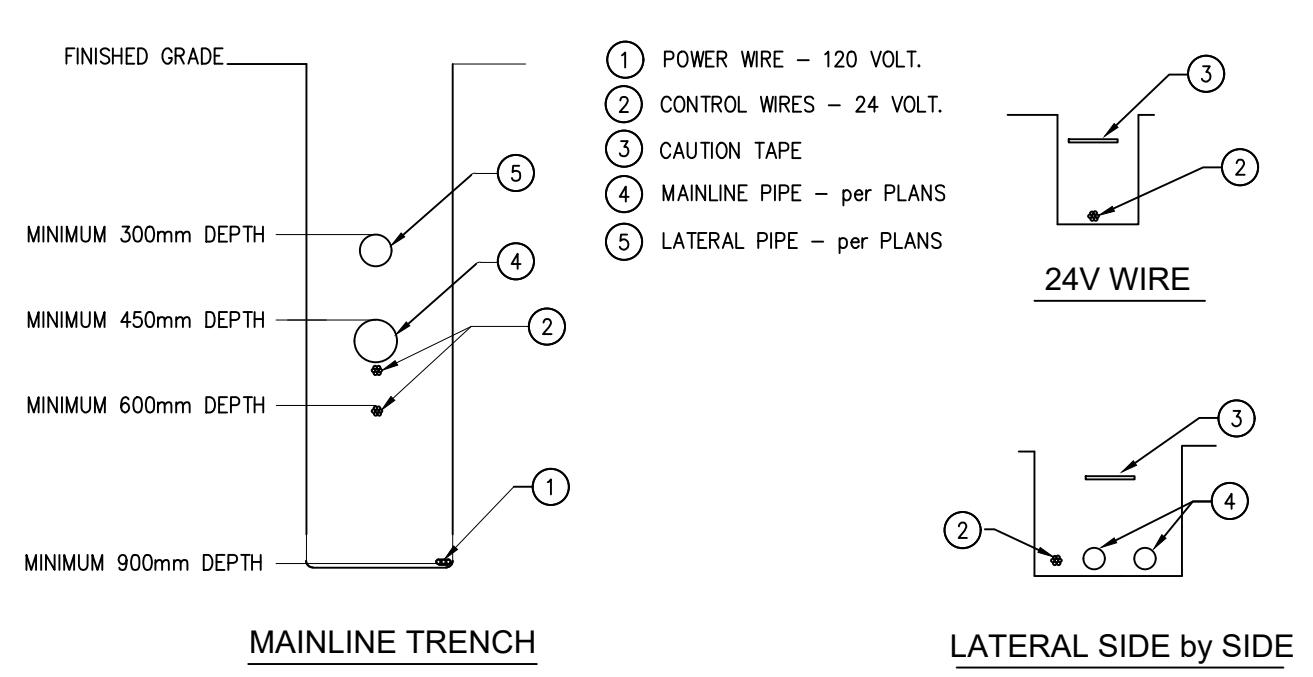
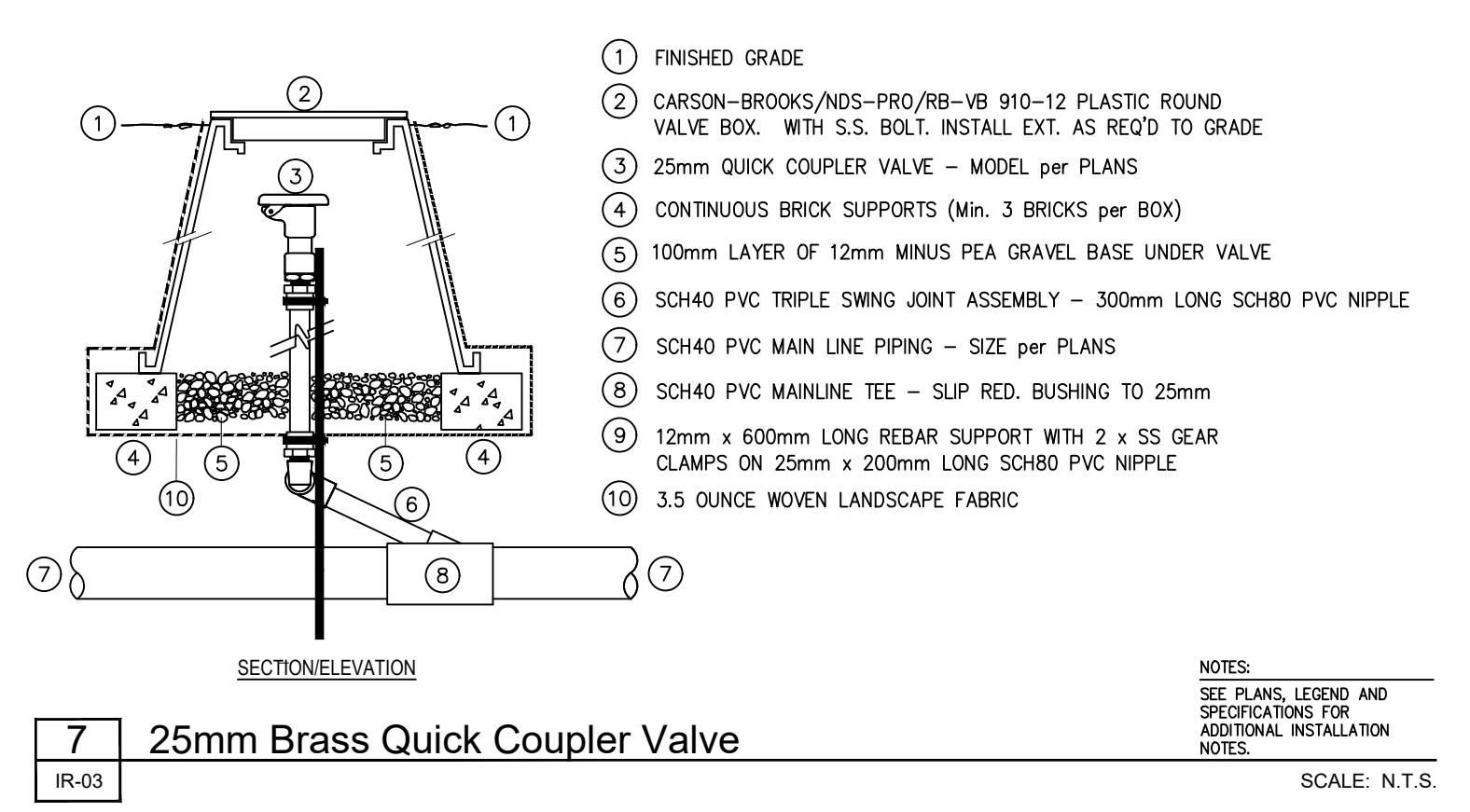
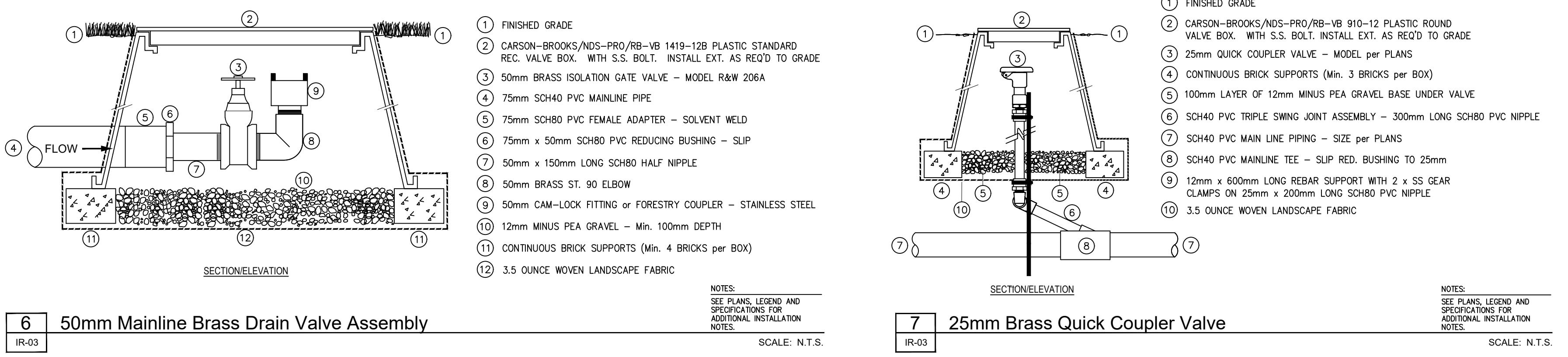
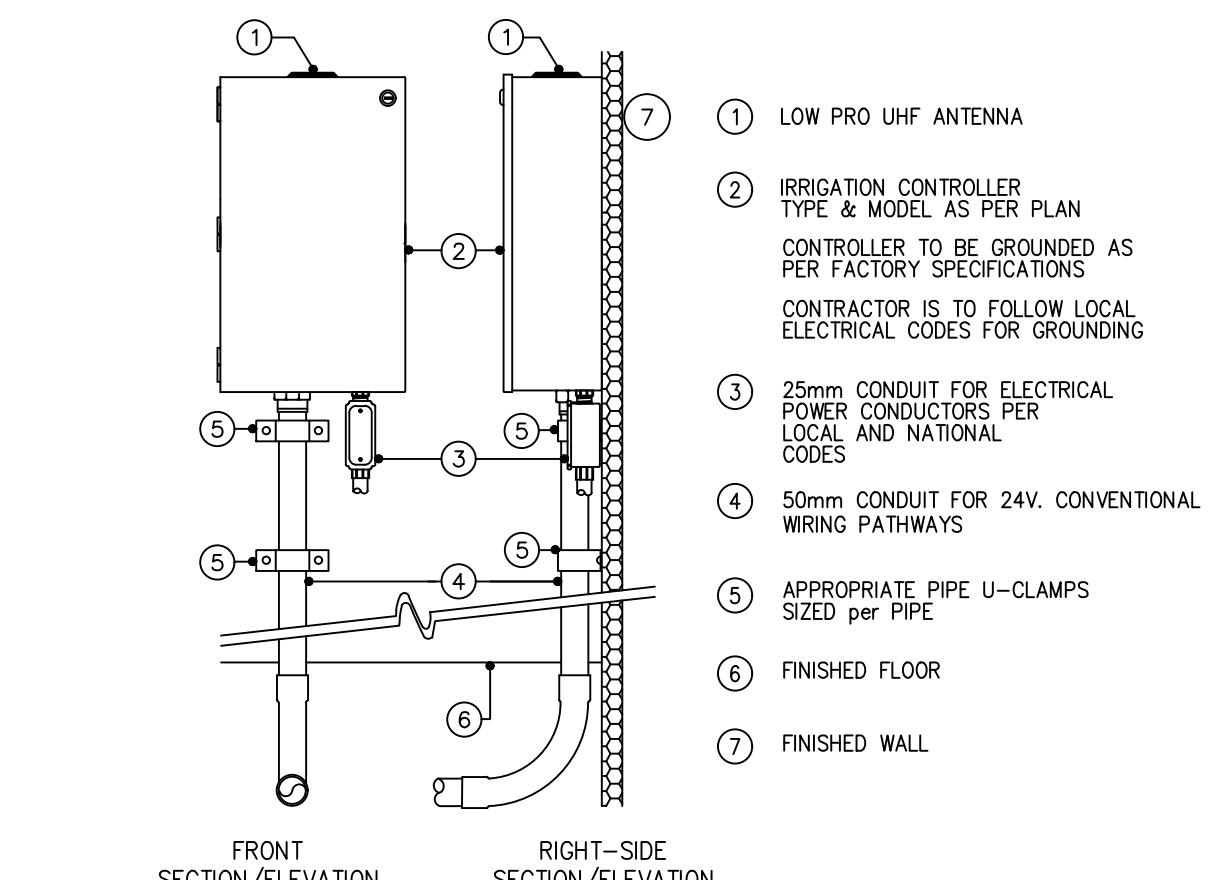
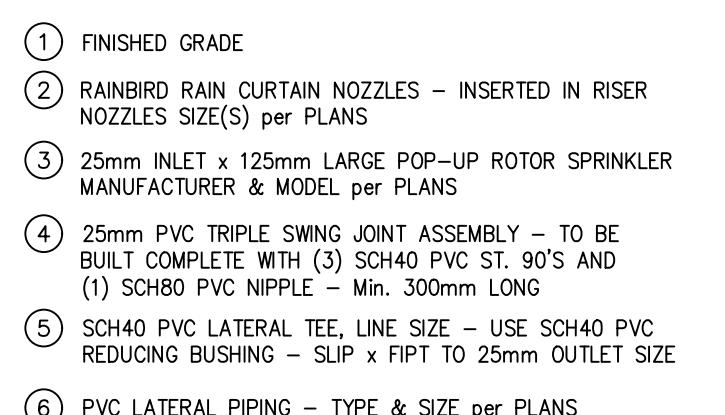
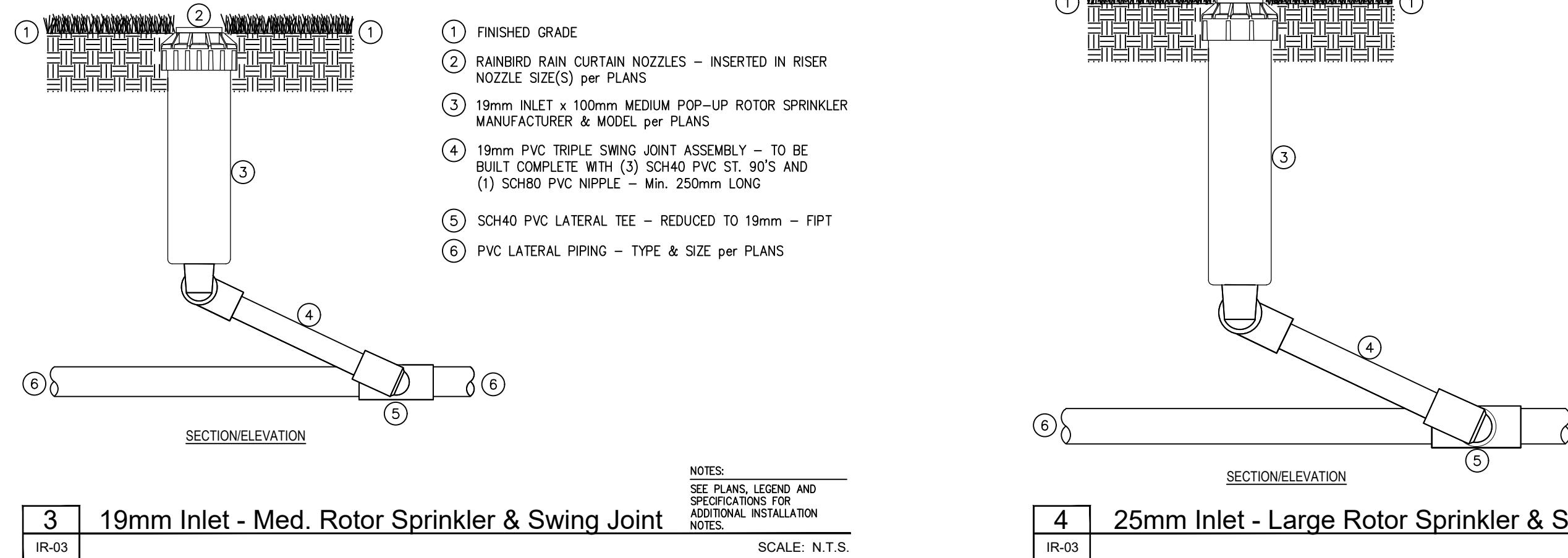
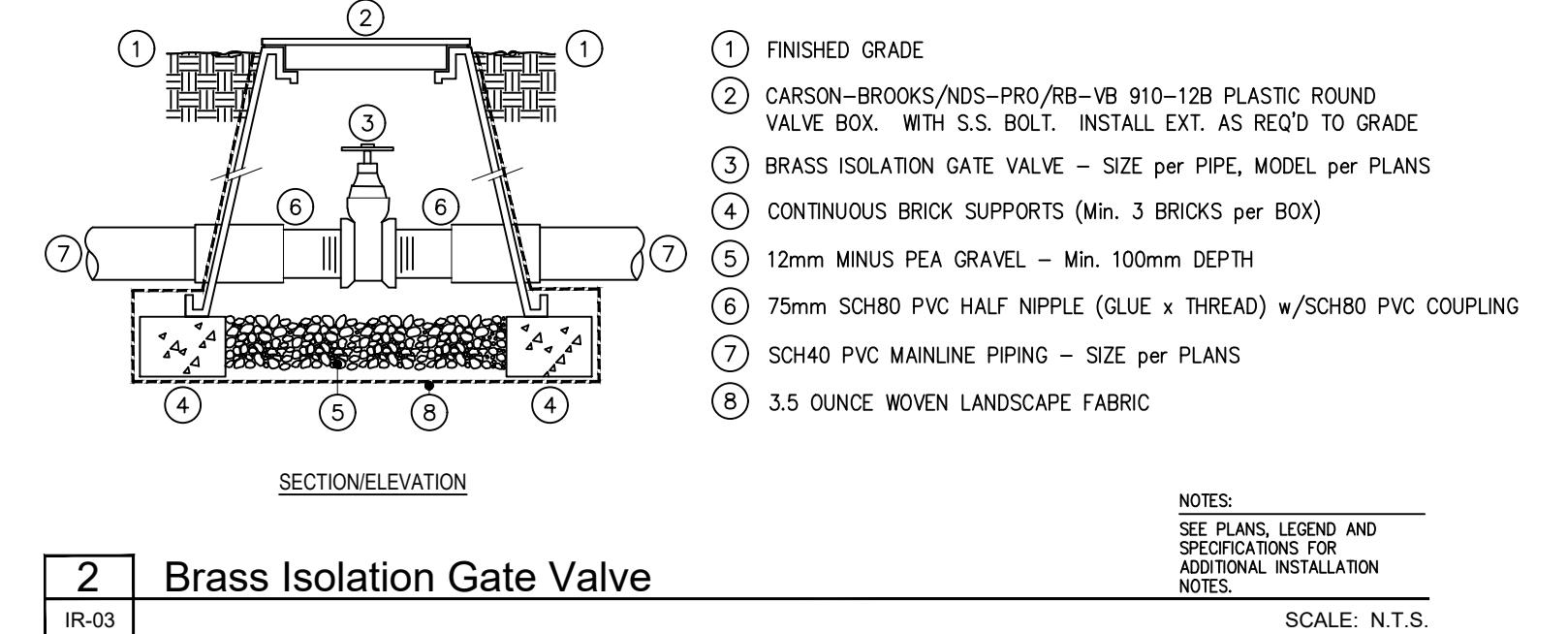
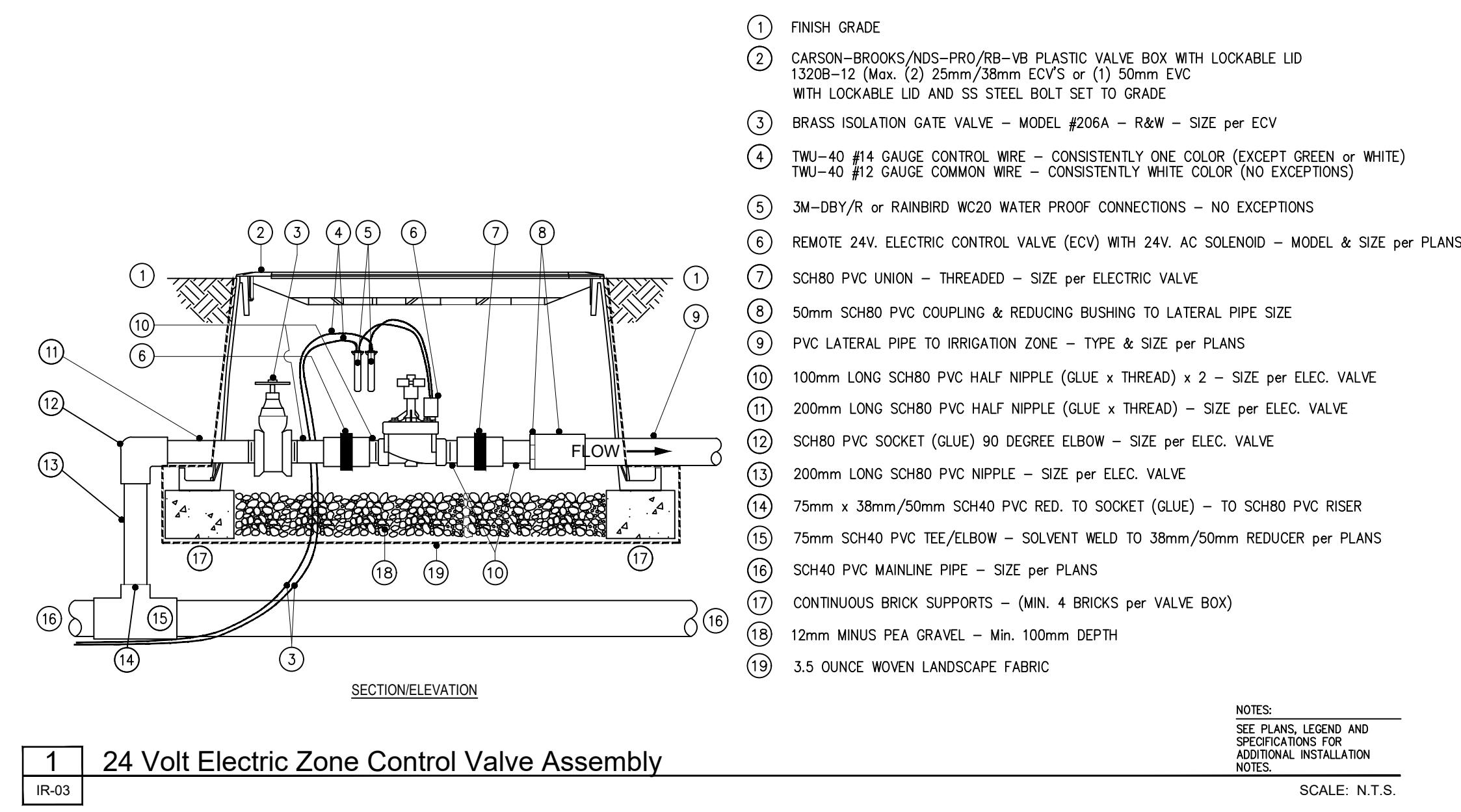
CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY INCONCERNING DIMENSIONS TO THE OWNER. ALL DRAWINGS AND SPECIFICATIONS ARE THE EXCLUSIVE PROPERTY OF VDZ+A. ALL DRAWINGS ARE TO BE RETURNED AT THE COMPLETION OF THE WORK. ALL REZONING/DP/PPA/HABP DRAWINGS ARE THE PROPERTY OF THE OWNER FOR CONSTRUCTION UNLESS LABELED ISSUED FOR TENDER/CONSTRUCTION.

# MACKIN PARK BALL DIAMOND RENEWAL IRRIGATION SYSTEM DETAILS

PR2024-20  
VDZ Project #:

IR-03  
Drawing #:

FOR TENDER



No.	By:	Description	Date
REVISIONS TABLE FOR DRAWINGS			
6	DEP	Issued for Tender	2026-02-02
5	DEP	Issued for Tender Review	2026-01-14
4	DEP	Issued for Final 100% Review	2025-12-02
3	DEP	Issued for 100% Review	2025-11-20
2	DEP	Issued for 95% Review	2025-08-05
1	DEP	Re-Issued for 90% Review	2025-06-20
0	DEP	Issued for 90% Review	2025-06-19
REVISIONS TABLE FOR SHEET			
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By: Description Date			

Project:	Mackin Park Ball Diamonds City of Coquitlam	
Location:	1046 Brunette Ave. Coquitlam, BC	
Drawn:	Stamp:	
D.E.P.		
Checked:	AM	
Approved:	Original Sheet Size: 24"X36"	
Scale:	CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND VERIFY THAT THE WORK IS ACCORDING TO THE DRAWINGS AND SPECIFICATIONS BEFORE PROCEEDING. ALL DRAWINGS AND SPECIFICATIONS ARE THE EXCLUSIVE PROPERTY OF VDZ+A. ALL DRAWINGS ARE TO BE RETURNED AT THE COMPLETION OF THE WORK. ALL REZONING/DP/PPA/HABP DRAWINGS ARE THE PROPERTY OF VDZ+A AND ARE FOR CONSTRUCTION UNLESS LABELED AS ISSUED FOR TENDER/CONSTRUCTION.	
N.T.S.	CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND VERIFY THAT THE WORK IS ACCORDING TO THE DRAWINGS AND SPECIFICATIONS BEFORE PROCEEDING. ALL DRAWINGS AND SPECIFICATIONS ARE THE EXCLUSIVE PROPERTY OF VDZ+A. ALL DRAWINGS ARE TO BE RETURNED AT THE COMPLETION OF THE WORK. ALL REZONING/DP/PPA/HABP DRAWINGS ARE THE PROPERTY OF VDZ+A AND ARE FOR CONSTRUCTION UNLESS LABELED AS ISSUED FOR TENDER/CONSTRUCTION.	