

MACKIN YARD BALL DIAMOND RENEWAL

Issued for Tender

Contact Information

VDZ+A

Project Landscape Architecture

Fort Langley Studio
102 - 9181 Church Street
Fort Langley, British Columbia, V1M 2R8

Mount Pleasant Studio
102-355 Kingsway
Vancouver, British Columbia, V5T 3J7

Kelowna Studio
302 - 1181 Sunset Drive
Kelowna, British Columbia, V1Y 0L4

Primary project contact:
Achim Muller
Achim@vdz.ca
o. 778.298.9737

Alternate contacts (incase away):
Dave Jerke
Principal Landscape Architect
davidj@vdz.ca
o. 604.440.2209

Project Civil Engineering

Primary project contact:
Taylor Webber
twebber@vdz.ca
o. 604 546 0930

Alternate contacts (incase away):
Aaron Berghoffer
aaron@vdz.ca
o. 604 416 5073

Key Project Contacts

City of Coquitlam
Project Owner

Ian Tom
ITom@coquitlam.ca
o. 604.218.2500

Irene Shams
ishams@coquitlam.ca
o. 604.671.0276

Sheet List Table - Landscape

Sheet Number	Sheet Title
L-00	COVER PAGE
L-01.1	EXISTING CONDITIONS SURVEY
L-01.2	DEMOLITION PLAN
L-02	OVERALL SITE PLAN
L-03	LINE MARKING PLAN
L-04A	CURBING AND EDGING PLAN
L-04B	WALLS AND FENCING PLAN
LS-01	SECTION
LD-01	DETAILS
LD-02	DETAILS
LD-03	DETAILS
LD-04	DETAILS
LD-05	DETAILS
LD-06	DETAILS
LD-07	DETAILS
LD-08A	DETAILS
LD-08B	DETAILS
LD-09	DETAILS
LD-10	DETAILS

Sheet List Table - Civil

Sheet Number	Sheet Title
CV-00	COVER SHEET
CV-01	KEY PLAN
CV-02	EXISTING CONDITIONS
CV-03	GRADING PLAN
CV-04	DRAINAGE PLANS
CD-01	CIVIL DETAILS
CN-01	CIVIL NOTES
ESC-01A	ESC PLAN PHASE 1
ESC-01B	ESC PLAN PHASE 2
ESC-01C	ESC PLAN PHASE 3
ESC-02	ESC DETAILS
ESC-03	ESC NOTES

Sheet List Table - Irrigation

Sheet Number	Sheet Title
IR-01	IRRIGATION PLAN
IR-02	IRRIGATION NOTES
IR-03	IRRIGATION DETAILS
IR-04	IRRIGATION DETAILS



1 LOCATION MAP
Scale NTS

NOT FOR CONSTRUCTION

8	AM	Issued for Tender	2025-02-10
7	AM	Issued for Coordination	2025-12-02
6	RMK	Issued for Coordination	2025-10-20
5	AM	Issued for Tender	2025-08-12
4	AM	Issued for Tender	2025-07-24
3	RMK	Issued for 90% Review	2025-04-20
2	RMK	Issued for 50% Review	2025-04-02
1	RMK	Issued for 25% Review	2025-02-07
No.	By:	Description	Date

REVISIONS TABLE FOR DRAWINGS
© Copyright reserved. This drawing and design is the property of VDZ+A and may not be reproduced or used for other projects without permission.

No.	By:	Description	Date
-----	-----	-------------	------

REVISIONS TABLE FOR SHEET

Project:
MACKIN YARD BALL DIAMOND
RENEWAL

Location:
1046 BRUNETTE AVENUE
COQUITLAM, B.C.

Drawn: RMK HK	Stamp:
Checked: AM	PP No.: 1001970
Approved: DJ	Original Sheet Size: 24"x36"

CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCY TO THE CONSULTANT BEFORE PROCEEDING. ALL DRAWINGS AND SPECIFICATIONS ARE THE EXCLUSIVE PROPERTY OF THE OWNER AND MUST BE RETURNED AT THE COMPLETION OF THE WORK. ALL RECONSTRUCTION DRAWINGS MUST NOT BE PRICED FOR CONSTRUCTION UNLESS LABELED ISSUED FOR TENDER/CONSTRUCTION.

Drawing Title:
COVER PAGE

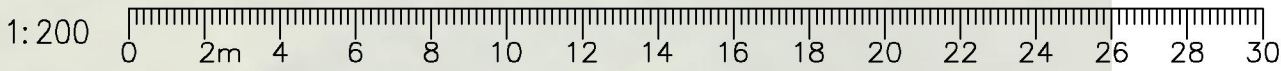
VDZ Project #:
PR2024-20

Drawing #:
L-00

Z:\PROJECTS\SPARKS & RECREATION\ACTIVE\2024\PR2024-20 MACKIN PARK BALL FIELD\SS.DWG\SHEET\DEMOLITION PLAN.DWG



- LEGEND**
- o BD DENOTES BOLLARD
 - o DENOTES CATCH BASIN - ROUND
 - o-x DENOTES STREET LIGHT - DAVIT
 - * DENOTES STREET LIGHT
 - WV DENOTES WATER VALVE
 - o DENOTES TREE AND CANOPY EXTENT
 - x### DENOTES GROUND ELEVATION
 - (tw) DENOTES TOP OF RETAINING WALL ELEVATION
 - Dec. DENOTES DECIDUOUS
 - Con. DENOTES CONIFEROUS
 - Conc. DENOTES CONCRETE
 - Rt. DENOTES RETAINING WALL
 - o IC DENOTES INSPECTION CHAMBER



VDZ+A

LANDSCAPE ARCHITECTURE | CIVIL ENGINEERING | URBAN FORESTRY

FORT LANGLEY STUDIO | MOUNT PLEASANT STUDIO

100-9181 Church St 102-355 Kingsway

Fort Langley, BC Vancouver, BC

VLM 288 VST 317

www.vdz.ca

604-882-0024

NOT FOR CONSTRUCTION

No.	By:	Description	Date
8	AM	Issued for Tender	2025-02-10
7	AM	Issued for Coordination	2025-12-02
6	RMK	Issued for Coordination	2025-10-20
5	AM	Issued for Tender	2025-08-12
4	AM	Issued for Tender	2025-07-24
3	RMK	Issued for 90% Review	2025-04-20
2	RMK	Issued for 50% Review	2025-04-02
1	RMK	Issued for 25% Review	2025-02-07

REVISIONS TABLE FOR DRAWINGS

o Copyright reserved. This drawing and design is the property of VDZ+A and may not be reproduced or used for other projects without permission.

No.	By:	Description	Date

REVISIONS TABLE FOR SHEET

Project:
MACKIN YARD BALL DIAMOND
RENEWAL

Location:
1046 BRUNETTE AVENUE
COQUITLAM, B.C.

Drawn: RMK HK	Stamp:
Checked: AM	PP No.: 1001970
Approved: DJ	Original Sheet Size: 24"x36"



CONTRACTOR SHALL CHECK ALL
DIMENSIONS ON THE WORK AND REPORT
ANY DISCREPANCY TO THE CONSULTANT
BEFORE PROCEEDING. ALL DRAWINGS
AND SPECIFICATIONS ARE THE EXCLUSIVE
PROPERTY OF THE OWNER AND MUST BE
RETURNED AT THE COMPLETION OF THE
WORK. ALL REVISIONS TO DRAWINGS
DRAWINGS MUST NOT BE PRICED FOR
CONSTRUCTION UNLESS LABELED ISSUED
FOR TENDER/CONSTRUCTION.

Drawing Title:

EXISTING CONDITIONS SURVEY

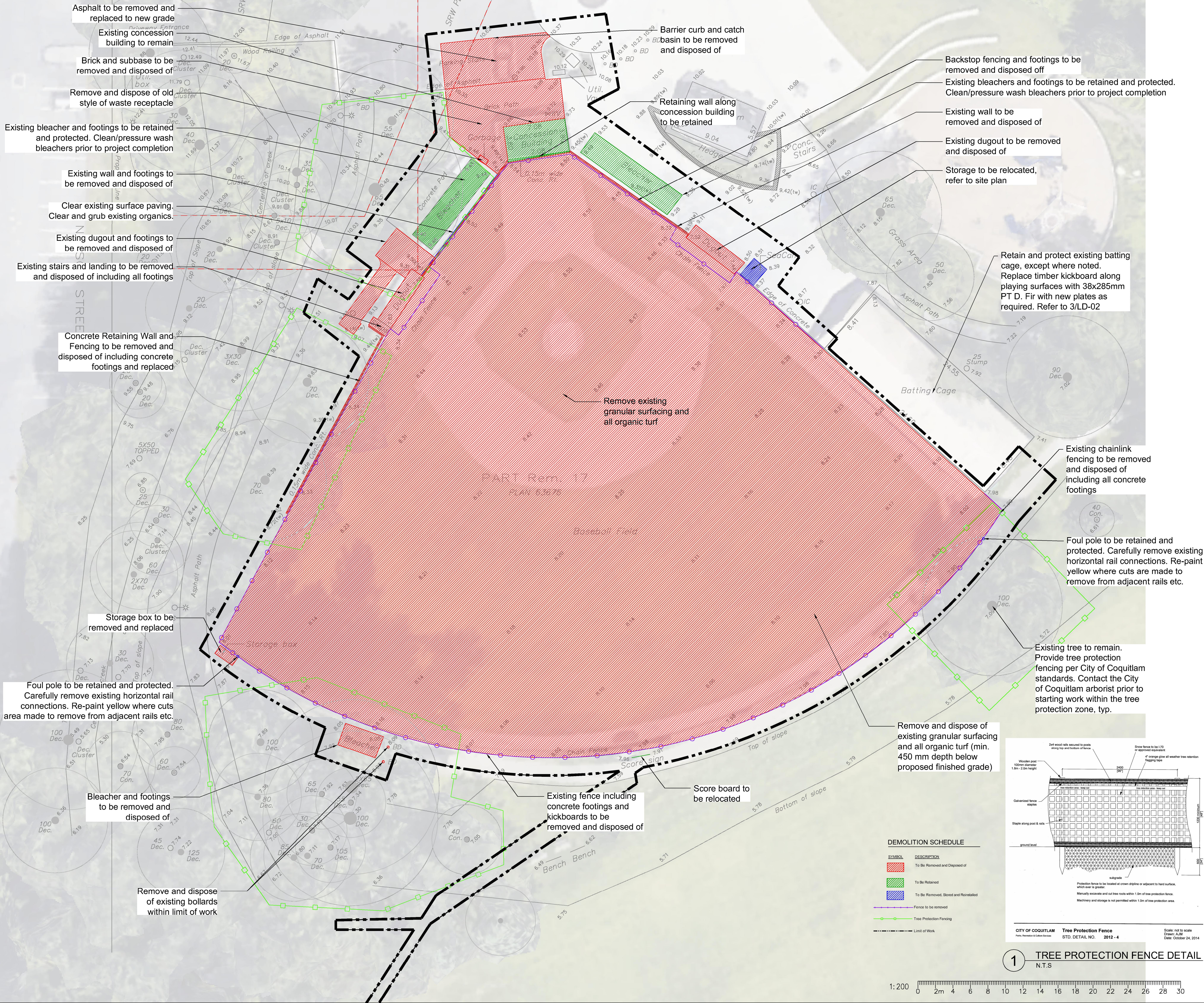
VDZ Project #:

PR2024-20

Drawing #:

L-01.1

Z:\PROJECTS\PARKS & RECREATION\ACTIVE\2024\PR2024-20 MACKIN PARK BALLFIELD.DWG SHEET SIDE DEMOLITION PLAN.DWG



NOT FOR CONSTRUCTION

No.	By:	Description	Date
8	AM	Issued for Tender	2025-02-10
7	AM	Issued for Coordination	2025-12-02
6	RMK	Issued for Coordination	2025-10-20
5	AM	Issued for Tender	2025-08-12
4	AM	Issued for Tender	2025-07-24
3	RMK	Issued for 90% Review	2025-04-20
2	RMK	Issued for 50% Review	2025-04-02
1	RMK	Issued for 25% Review	2025-02-07

REVISIONS TABLE FOR DRAWINGS
© Copyright reserved. This drawing and design is the property of VDZ+A and may not be reproduced or used for other projects without permission.

No.	By:	Description	Date

REVISIONS TABLE FOR SHEET

Project:
MACKIN YARD BALL DIAMOND
RENEWAL

Location:
1046 BRUNETTE AVENUE
COQUITLAM, B.C.

Drawn: RMK HK	Stamp:
Checked: AM	PP No.: 1001970
Approved: DJ	Original Sheet Size: 24"x36"

CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCY TO THE CONSULTANT BEFORE PROCEEDING. ALL DRAWINGS AND SPECIFICATIONS ARE THE EXCLUSIVE PROPERTY OF THE OWNER AND MUST BE RETURNED AT THE COMPLETION OF THE WORK. ALL RECONSTRUCTION DRAWINGS MUST NOT BE PRICED FOR CONSTRUCTION UNLESS LABELED ISSUED FOR TENDER/CONSTRUCTION.



Drawing Title:
DEMOLITION PLAN

VDZ Project #:
PR2024-20

Drawing #:
L-01.2

Z:\PROJECTS\PARKS & RECREATION\ACTIVE\2024\PR2024-20 MACKIN PARK BALL FIELDS.dwg DWG SHEET IS LINE MARKING PLAN.DWG



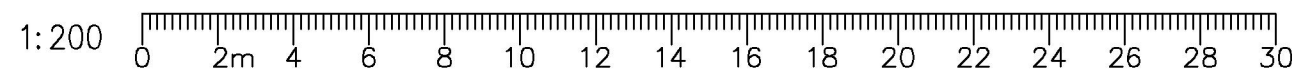
REFERENCE NOTES SCHEDULE MATERIALS-SURFACES			
SYMBOL	CODE	DESCRIPTION	DETAIL
HARDSCAPE			
	H-101	CONCRETE PAVING - PEDESTRIAN GRADE- WITH EXPANSION JOINTS AND SAWCUT CONTROL JOINTS	6/LD-04
	H-102	CONCRETE EDGING - FLUSH - 300MM WIDE	8/LD-04
	H-121	ASPHALT PAVING - PEDESTRIAN GRADE	1/LD-05
	H-131	STONEDUST SURFACING - 3MM MINUS	2/LD-04
	H-141	SYNTHETIC TURF - GRASS COLOUR	1/LD-04
	H-142	SYNTHETIC TURF - CLAY COLOUR	1/LD-04
	H-143	CONCRETE EDGING - ATF TRANSITION (BELOW GRADE) - 300MM WIDE	5/LD-04
	H-144	GRAVEL - EXISTING TO REMAIN	
	H-145	PARKING LOT ASPHALT, REFER TO CIVIL	
	S-101	TURF - NATURAL - SODDED	
SITE AMENITIES			
	SA-101	KICK BOARD - WOOD - REPLACE EXISTING	3/LD-02
	SA-121	BASEBALL BULLPEN PITCHING MOUND - MOVABLE	4/LD-05

New concrete pad and relocated storage SeaCan

Step down to gravel pathway from concrete pad. Accessible access from field

New bullpen backstop rubber mat

Salvaged and relocated existing foul pole



VDZ+A

LANDSCAPE ARCHITECTURE | CIVIL ENGINEERING | URBAN FORESTRY

FORT LANGLEY STUDIO | MOUNT PLEASANT STUDIO

100-9181 Church St 102-355 Kingsway

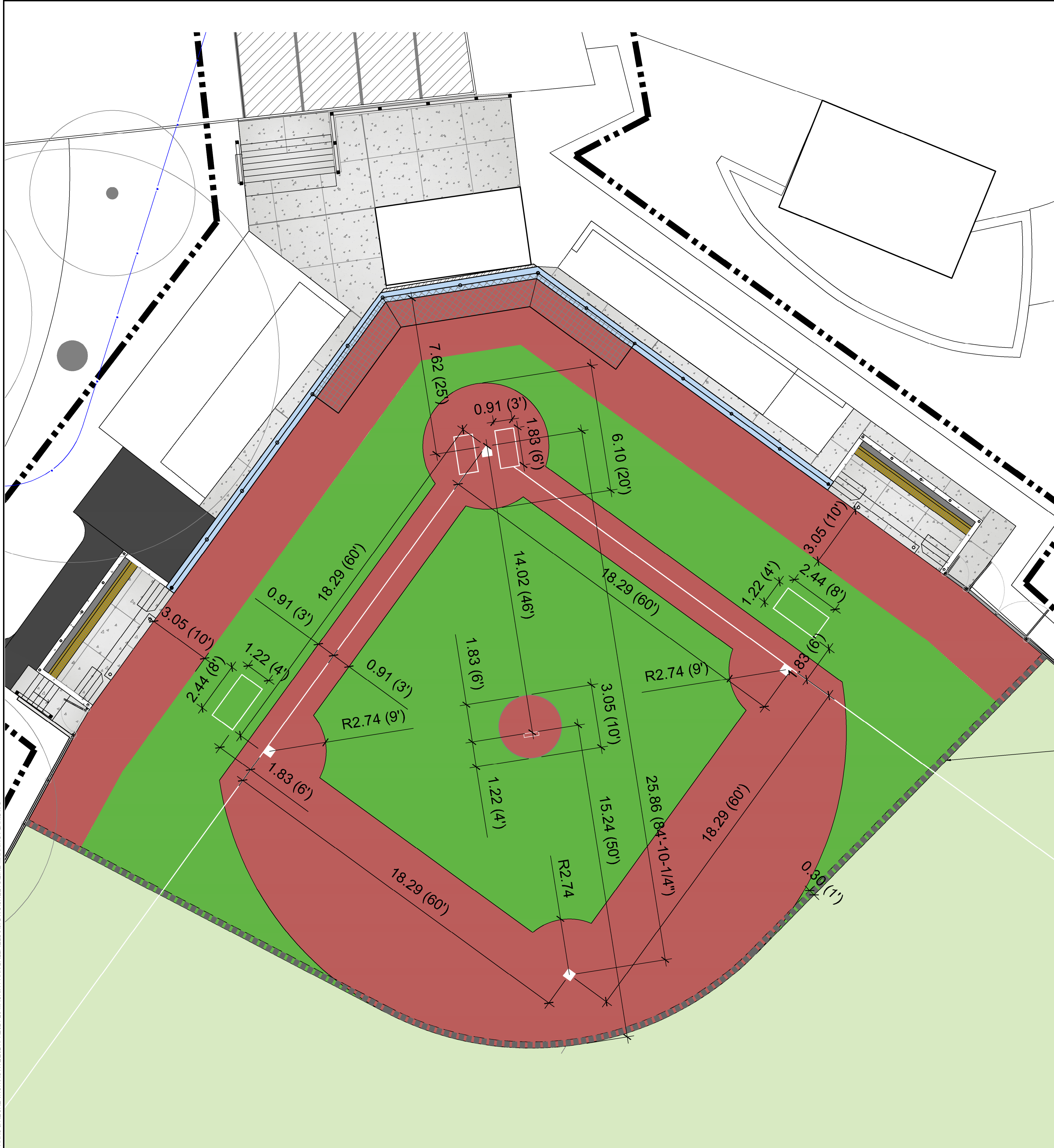
Fort Langley, BC Vancouver, BC

VLM 288 VST 317

www.vdz.ca 604-882-0024

NOT FOR CONSTRUCTION			
8	AM	Issued for Tender	2025-02-10
7	AM	Issued for Coordination	2025-12-02
6	RMK	Issued for Coordination	2025-10-20
5	AM	Issued for Tender	2025-08-12
4	AM	Issued for Tender	2025-07-24
3	RMK	Issued for 90% Review	2025-04-20
2	RMK	Issued for 50% Review	2025-04-02
1	RMK	Issued for 25% Review	2025-02-07
No.	By:	Description	Date
REVISIONS TABLE FOR DRAWINGS			
Copyright reserved. This drawing and design is the property of Vdz+A and may not be reproduced or used for other projects without permission.			
No.	By:	Description	Date
REVISIONS TABLE FOR SHEET			
Project: MACKIN YARD BALL DIAMOND RENEWAL			
Location: 1046 BRUNETTE AVENUE COQUITLAM, B.C.			
Drawn: RMK HK	Stamp:		
Checked: AM	PP No.: 1001970		
Approved: DJ	Original Sheet Size: 24"x36"		
	CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCY TO THE CONSULTANT BEFORE PROCEEDING. ALL DRAWINGS AND SPECIFICATIONS ARE THE EXCLUSIVE PROPERTY OF THE OWNER AND MUST BE RETURNED AT THE COMPLETION OF THE WORK. ALL REWORKING OF DRAWINGS MUST NOT BE PRICED FOR CONSTRUCTION UNLESS LABELED ISSUED FOR TENDER/CONSTRUCTION.		

Z:\PROJECTS\PARKS & RECREATION\ACTIVE\2024\PR2024-20 MACKIN PARK BALL FIELDS.DWG SHEET IS LINE MARKING PLAN.DWG

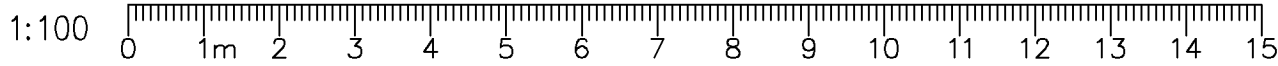


REFERENCE NOTES SCHEDULE MATERIALS-SURFACES

SYMBOL	CODE	DESCRIPTION	DETAIL
HARDSCAPE			
	H-101	CONCRETE PAVING - PEDESTRIAN GRADE- WITH EXPANSION JOINTS AND SAWCUT CONTROL JOINTS	6/LD-04
	H-102	CONCRETE EDGING - FLUSH - 300MM WIDE	8/LD-04
	H-121	ASPHALT PAVING - PEDESTRIAN GRADE	1/LD-05
	H-131	STONEDUST SURFACING - 3MM MINUS	2/LD-04
	H-141	SYNTHETIC TURF - GRASS COLOUR	1/LD-04
	H-142	SYNTHETIC TURF - CLAY COLOUR	1/LD-04
	H-143	CONCRETE EDGING - ATF TRANSITION (BELOW GRADE) - 300MM WIDE	5/LD-04
	H-144	GRAVEL - EXISTING TO REMAIN	
	H-145	PARKING LOT ASPHALT, REFER TO CIVIL	
	S-101	TURF - NATURAL - SODDED	
SITE AMENITIES			
	SA-101	KICK BOARD - WOOD - REPLACE EXISTING	3/LD-02
	SA-121	BASEBALL BULLPEN PITCHING MOUND - MOVABLE	4/LD-05

5
LD-04

Synthetic turf to
surface transition



NOT FOR CONSTRUCTION

No.	By:	Description	Date
8	AM	Issued for Tender	2025-02-10
7	AM	Issued for Coordination	2025-12-02
6	RMK	Issued for Coordination	2025-10-20
5	AM	Issued for Tender	2025-08-12
4	AM	Issued for Tender	2025-07-24
3	RMK	Issued for 90% Review	2025-04-20
2	RMK	Issued for 50% Review	2025-04-02
1	RMK	Issued for 25% Review	2025-02-07

REVISIONS TABLE FOR DRAWINGS
Copyright reserved. This drawing and design is the property of VDZ+A and may not be reproduced or used for other projects without permission.

No.	By:	Description	Date

REVISIONS TABLE FOR SHEET

Project:
MACKIN YARD BALL DIAMOND
RENEWAL

Location:
1046 BRUNETTE AVENUE
COQUITLAM, B.C.

Drawn: RMK HK	Stamp:
Checked: AM	PP No.: 1001970
Approved: DJ	Original Sheet Size: 24"x36"



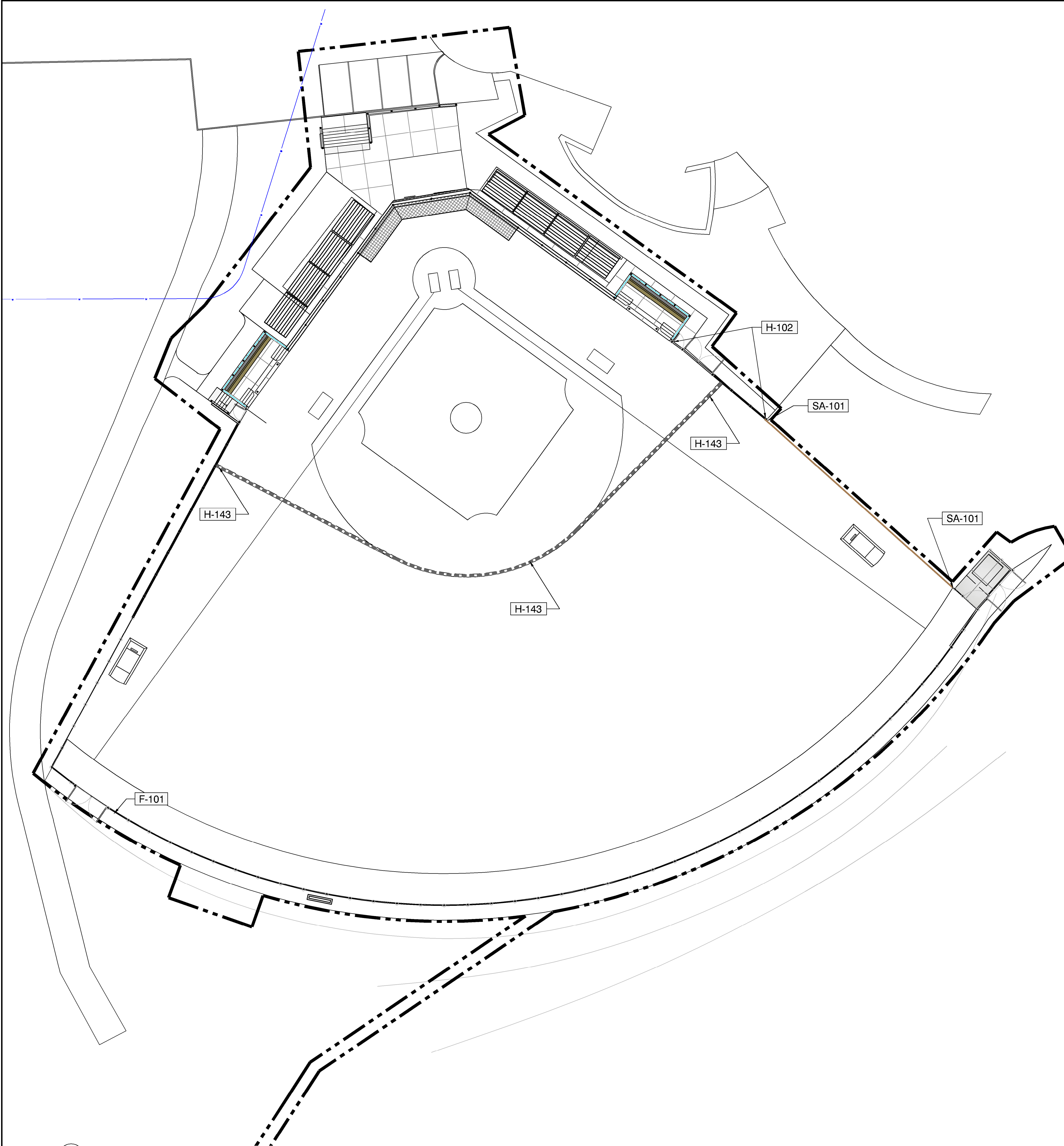
CONTRACTOR SHALL CHECK ALL
DIMENSIONS ON THE WORK AND REPORT
ANY DISCREPANCY TO THE CONSULTANT
BEFORE PROCEEDING. ALL DRAWINGS
AND SPECIFICATIONS ARE THE EXCLUSIVE
PROPERTY OF THE OWNER AND MUST BE
RETURNED AT THE COMPLETION OF THE
WORK. ALL REWORKING/REVISIONS
DRAWINGS MUST NOT BE PRICED FOR
CONSTRUCTION UNLESS LABELED ISSUED
FOR TENDER/CONSTRUCTION.

Drawing Title:
LINE MARKING PLAN

VDZ Project #:
PR2024-20

Drawing #:
L-03

Z:\PROJECTS\PARKS & RECREATION\ACTIVE\2024\PR2024-20 MACKIN PARK BALL FIELDS\5. DWG\SHEETS\FENCING PLAN.DWG



1 PLAN

REFERENCE NOTES SCHEDULE MATERIALS-SURFACES

SYMBOL	CODE	DESCRIPTION	DETAIL
HARDSCAPE			
	H-102	CONCRETE EDGING - FLUSH - 300MM WIDE	8/LD-04
	H-143	CONCRETE EDGING - ATF TRANSITION (BELOW GRADE) - 300MM WIDE	5/LD-04
	SA-101	KICK BOARD - WOOD - REPLACE EXISTING	3/LD-02

VDZ+A
LANDSCAPE ARCHITECTURE | CIVIL ENGINEERING | URBAN FORESTRY

FORT LANGLEY STUDIO | MOUNT PLEASANT STUDIO
100-9181 Church St 102-355 Kingsway
Fort Langley, BC Vancouver, BC
V4M 2B8 V5T 3J7
www.vdz.ca 604-882-0024

NOT FOR CONSTRUCTION

No.	By:	Description	Date
8	AM	Issued for Tender	2025-02-10
7	AM	Issued for Coordination	2025-12-02
6	RMK	Issued for Coordination	2025-10-20
5	AM	Issued for Tender	2025-08-12
4	AM	Issued for Tender	2025-07-24
3	RMK	Issued for 90% Review	2025-04-20
2	RMK	Issued for 50% Review	2025-04-02
1	RMK	Issued for 25% Review	2025-02-07

REVISIONS TABLE FOR DRAWINGS
Copyright reserved. This drawing and design is the property of Vdz+A and may not be reproduced or used for other projects without permission.

No.	By:	Description	Date
-----	-----	-------------	------

REVISIONS TABLE FOR SHEET

Project:
MACKIN YARD BALL DIAMOND
RENEWAL

Location:
1046 BRUNETTE AVENUE
COQUITLAM, B.C.

Drawn: HK	Stamp:
Checked: AM	PP No.: 1001970
Approved: MVDZ	Original Sheet Size: 24"x36"

AS GIVEN

CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCY TO THE CONSULTANT BEFORE PROCEEDING. ALL DRAWINGS AND SPECIFICATIONS ARE THE EXCLUSIVE PROPERTY OF THE OWNER AND MUST BE RETURNED AT THE COMPLETION OF THE WORK. ALL REWORKING/REPAIRS/REWORKS MUST NOT BE PRICED FOR CONSTRUCTION UNLESS LABELED ISSUED FOR TENDER/CONSTRUCTION.

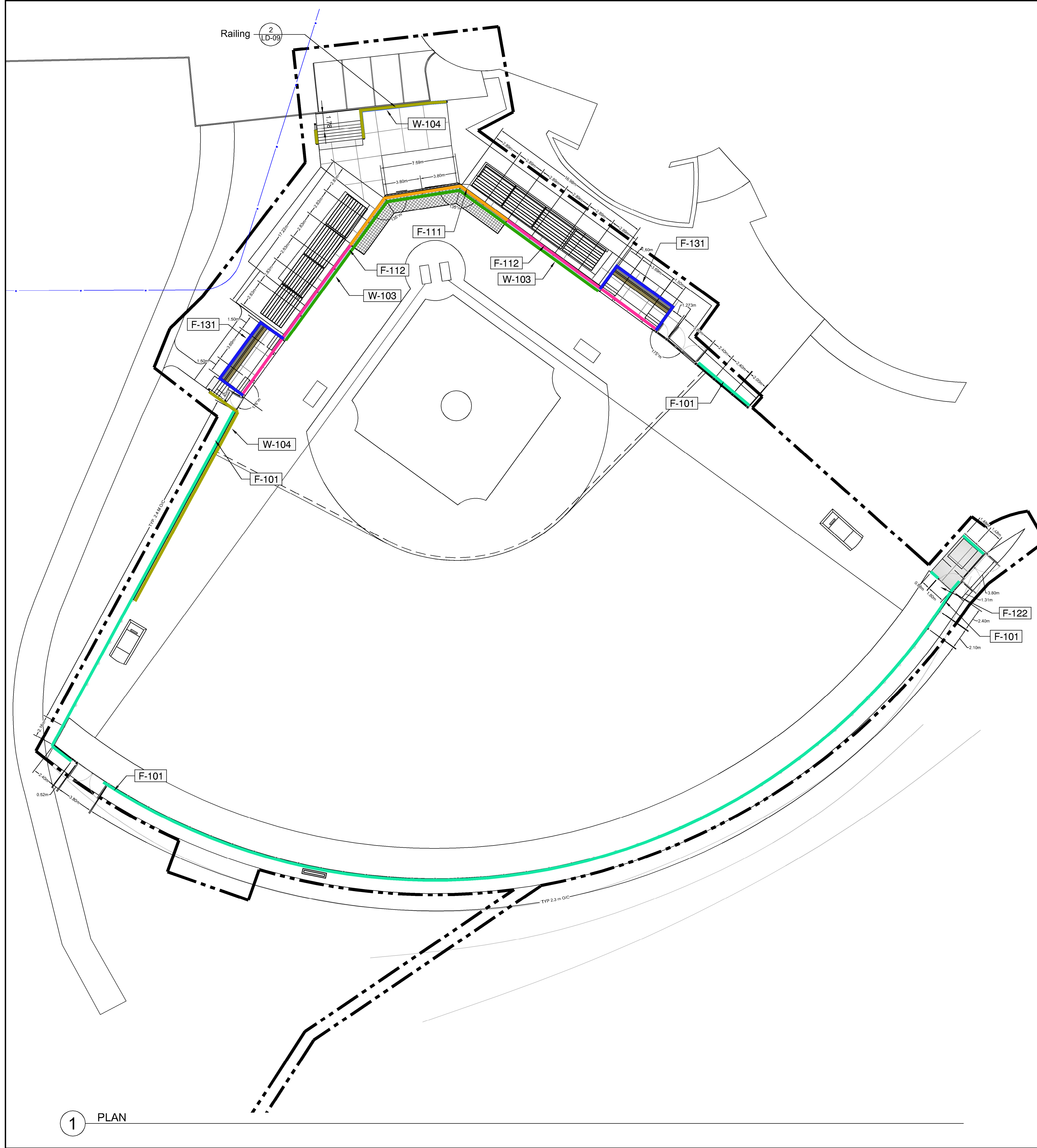


Drawing Title: CURBING AND EDGING PLAN

VDZ Project #: PR2024-20

Drawing #: L-04A

Z:\PROJECTS\PARKS & RECREATION\ACTIVE\2024\PR2024-20 MACKIN PARK BALL FIELDS\5. DWGS\SHEETS\FENCING PLAN.DWG



1 PLAN

WALLS AND FENCES SCHEDULE

SYMBOL	CODE	DESCRIPTION	DETAIL
--------	------	-------------	--------

FENCES

	F-101	CHAINLINK FENCING - 1.2M HEIGHT	4/LD-02
	F-111	BACKSTOP FENCING - WITH OVERHANG - 10M HEIGHT	2/LD-02
	F-112	BACKSTOP FENCING - 6M HEIGHT	/
	F-120	PEDESTRIAN GATE - CHAIN LINK SINGLE GATE	4/LD-02
	F-121	MAINTENANCE GATE - CHAIN LINK DOUBLE SWING GATE	5/LD-02
	F-122	MAINTENANCE GATE - CHAIN LINK SINGLE SWING GATE	
	F-131	DUGOUT FENCING AND GATES - PER DETAILS	/

RETAINING WALLS

	W-103	CAST IN PLACE CONCRETE WALL WITH BRICK VENEER - 1M HEIGHT	2/LD-03
	W-104	CAST IN PLACE RETAINING WALL - VARYING HEIGHTS. SEE CIVIL GRADING PLANS	2/LD-05

NOT FOR CONSTRUCTION

No.	By:	Description	Date
8	AM	Issued for Tender	2025-02-10
7	AM	Issued for Coordination	2025-12-02
6	RMK	Issued for Coordination	2025-10-20
5	AM	Issued for Tender	2025-08-12
4	AM	Issued for Tender	2025-07-24
3	RMK	Issued for 90% Review	2025-04-20
2	RMK	Issued for 50% Review	2025-04-02
1	RMK	Issued for 25% Review	2025-02-07

REVISIONS TABLE FOR DRAWINGS
Copyright reserved. This drawing and design is the property of VDZ+A and may not be reproduced or used for other projects without permission.

No.	By:	Description	Date
-----	-----	-------------	------

REVISIONS TABLE FOR SHEET

Project:
MACKIN YARD BALL DIAMOND RENEWAL

Location:
1046 BRUNETTE AVENUE
COQUITLAM, B.C.

Drawn: HK	Stamp:
Checked: AM	PP No.: 1001970
Approved: MVDZ	Original Sheet Size: 24"x36"

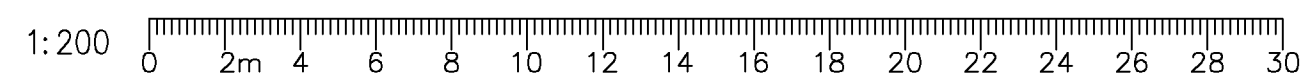
AS GIVEN
CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCY TO THE CONSULTANT BEFORE PROCEEDING. ALL DRAWINGS AND SPECIFICATIONS ARE THE EXCLUSIVE PROPERTY OF THE OWNER AND MUST BE RETURNED AT THE COMPLETION OF THE WORK. ALL REVISIONS/CHANGES/ADDENDUMS MUST NOT BE PRICED FOR CONSTRUCTION UNLESS LABELED ISSUED FOR TENDER/CONSTRUCTION.



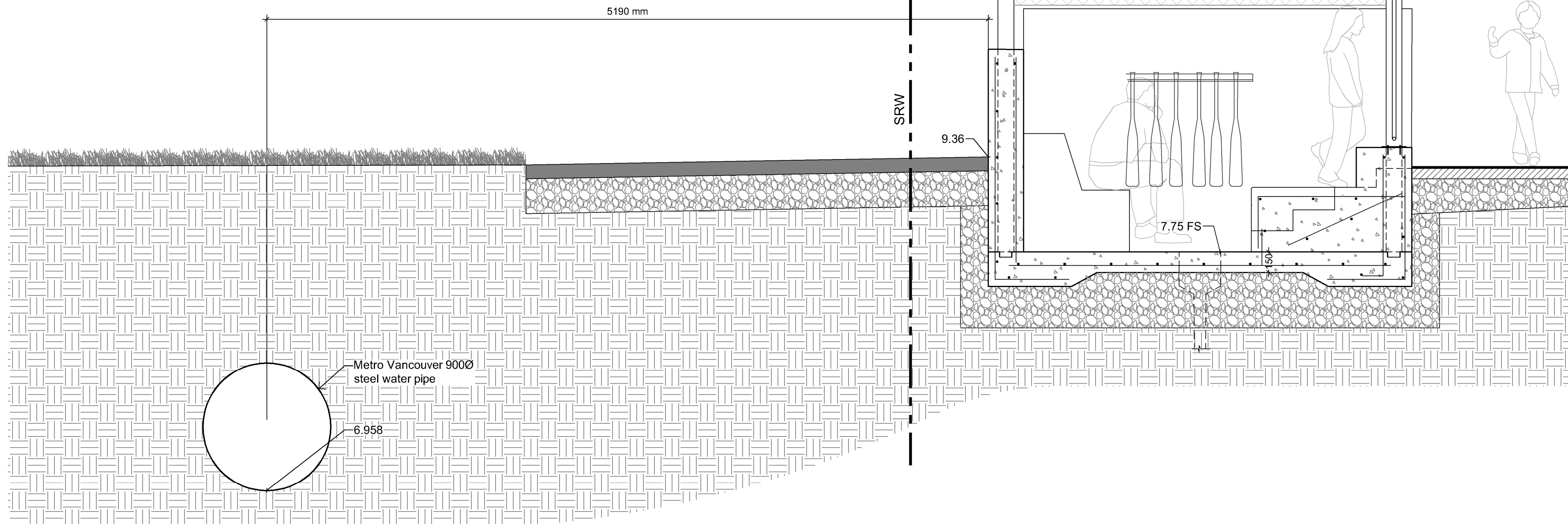
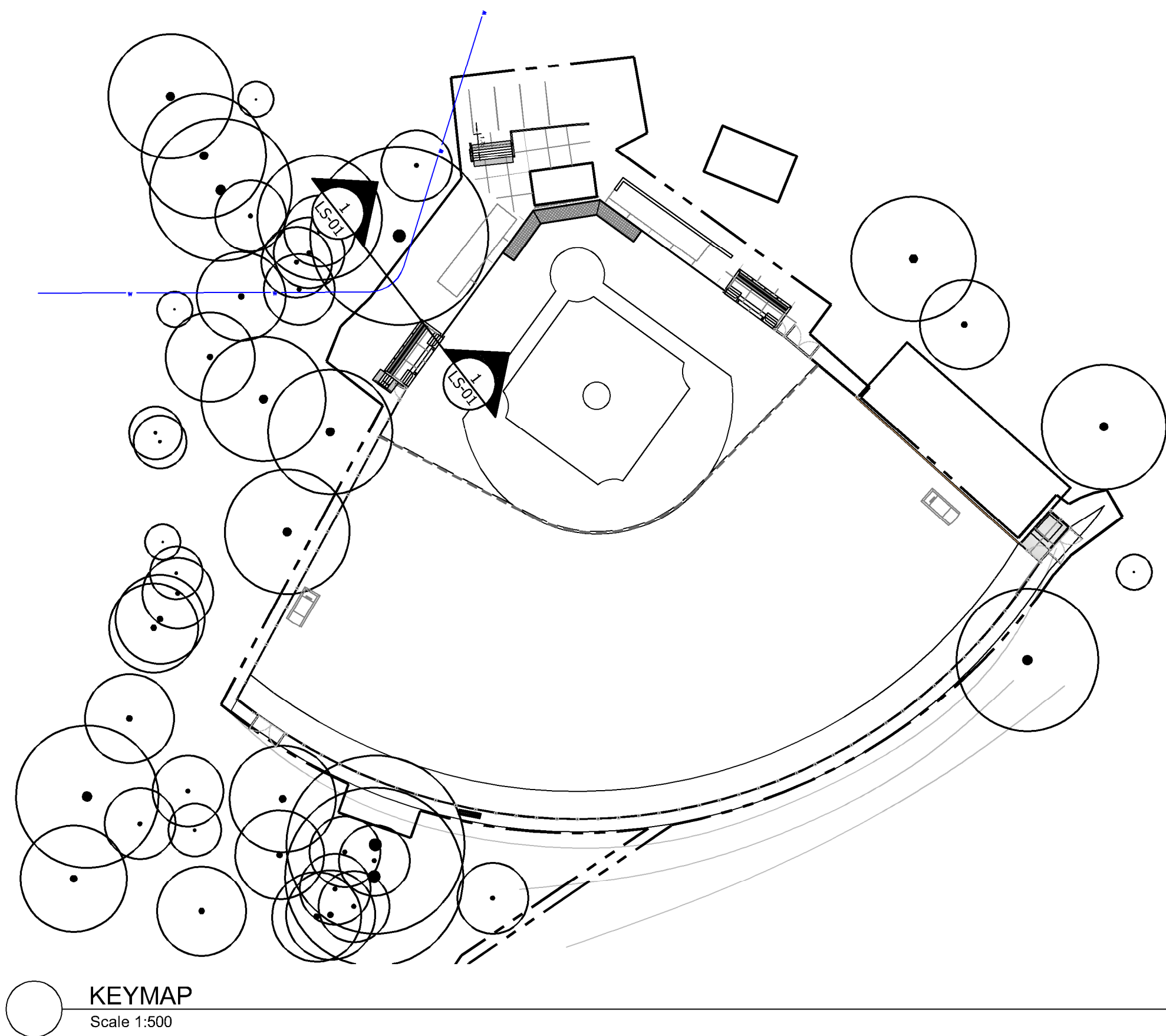
Drawing Title:
WALLS AND FENCING PLAN

VDZ Project #:
PR2024-20

Drawing #:
L-04B



Z:\PROJECTS\PARKS & RECREATION\ACTIVE\2024\PR2024-20 MACKIN PARK BALL FIELDS.DWG\SHEET\SECTION.DWG



1 SECTION SHOWING WATER MAIN AND DUGOUT PROXIMITY
Scale 1:20

Key Map (NTS)

NOT FOR CONSTRUCTION

No.	By:	Description	Date
8	AM	Issued for Tender	2025-02-10
7	AM	Issued for Coordination	2025-12-02
6	RMK	Issued for Coordination	2025-10-20
5	AM	Issued for Tender	2025-08-12
4	AM	Issued for Tender	2025-07-24
3	RMK	Issued for 90% Review	2025-04-20
2	RMK	Issued for 50% Review	2025-04-02
1	RMK	Issued for 25% Review	2025-02-07

REVISIONS TABLE FOR DRAWINGS
Copyright reserved. This drawing and design is the property of VDZ+A and may not be reproduced or used for other projects without permission.

No.	By:	Description	Date

REVISIONS TABLE FOR SHEET

Project:
MACKIN YARD BALL DIAMOND
RENEWAL

Location:
1046 BRUNETTE AVENUE
COQUITLAM, B.C.

Drawn: RMK	Stamp:
Checked: AM	PP No.: 1001970
Approved: AM	Original Sheet Size: 24"x36"

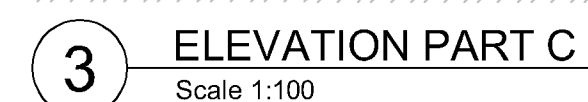
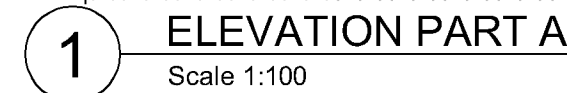


CONTRACTOR SHALL CHECK ALL
DIMENSIONS ON THE WORK AND REPORT
ANY DISCREPANCY TO THE CONSULTANT
BEFORE PROCEEDING. ALL DRAWINGS
AND SPECIFICATIONS ARE THE EXCLUSIVE
PROPERTY OF THE OWNER AND MUST BE
RETURNED AT THE COMPLETION OF THE
WORK. ALL RECONSTRUCTION DRAWINGS
DRAWINGS MUST NOT BE PRICED FOR
CONSTRUCTION UNLESS LABELED ISSUED
FOR TENDER/CONSTRUCTION.

Drawing Title:
SECTION

VDZ Project #:
PR2024-20

Drawing #:
LS-01



1	60 Ø
2	114 Ø
3	141 Ø (50 Ksi)
4	168 Ø (50 Ksi)
5	48 Ø
6	75 Ø

Foundation wall and footing sizes:

- (A) 300Ø x 900 Depth Footing
- (B) 300Ø x 1000 Depth Footing
- (C) 472 mm Foundation Wall, 300 mm thk Footing
- (D) 472 mm Foundation Wall, 300 mm thk Footing
- (E) 200 mm Foundation Wall, 250 mm thk Footing

Key Map (NTS)

NOT FOR CONSTRUCTION			
8	AM	Issued for Tender	2026-02-10
7	AM	Issued for Coordination	2025-12-02
6	RMK	Issued for Coordination	2025-10-20
5	AM	Issued for Tender	2025-08-12
4	AM	Issued for Tender	2025-07-24
3	RMK	Issued for 90% Review	2025-04-20
2	RMK	Issued for 50% Review	2025-04-02
1	RMK	Issued for 25% Review	2025-02-07
No.	By:	Description	Date

REVISIONS TABLE FOR DRAWINGS

© Copyright reserved. This drawing and design is the property of H2A and may not be reproduced or used for other projects without permission.

No.	By:	Description	Date

REVISIONS TABLE FOR SHEET					

Drawn: RMK HK	Stamp:
Checked: AM	
Approved: DJ	PP No.: 1001970 Original Sheet Size: 24"x36"

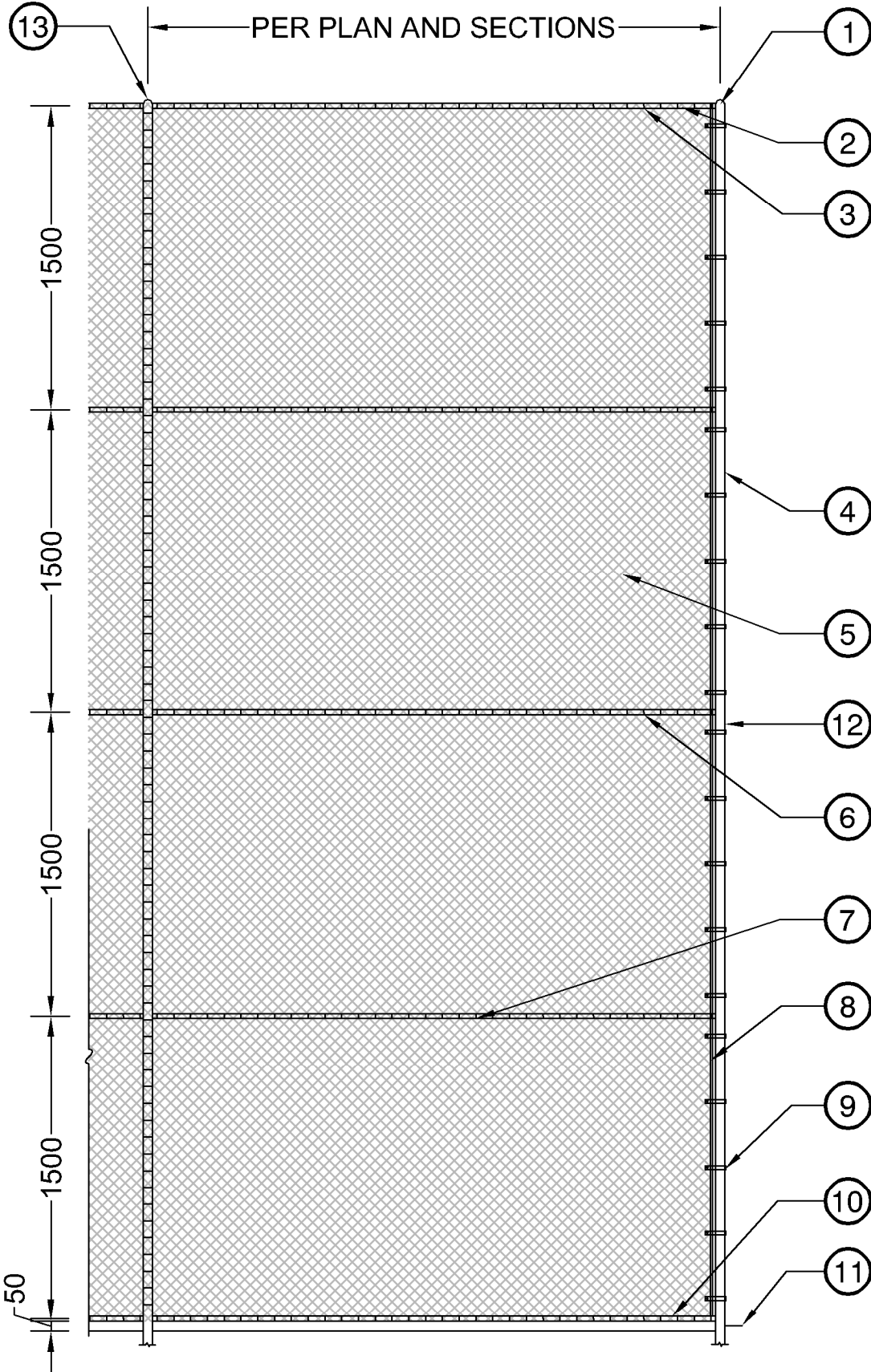
1: 200

CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCY TO THE CONSULTANT BEFORE PROCEEDING. ALL DRAWINGS AND SPECIFICATIONS ARE THE EXCLUSIVE PROPERTY OF THE OWNER AND MUST BE RETURNED AT THE COMPLETION OF THE WORK. ALL REZONING/DP/PA/FH/ABP DRAWINGS MUST NOT BE PRICED FOR CONSTRUCTION UNLESS LABELED ISSUED FOR TENDER/CONSTRUCTION.



Drawing #:
LD-01

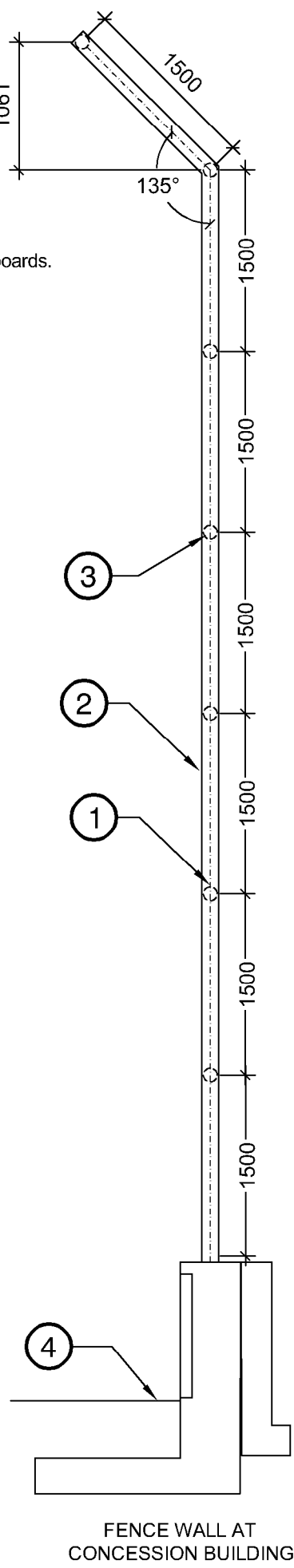
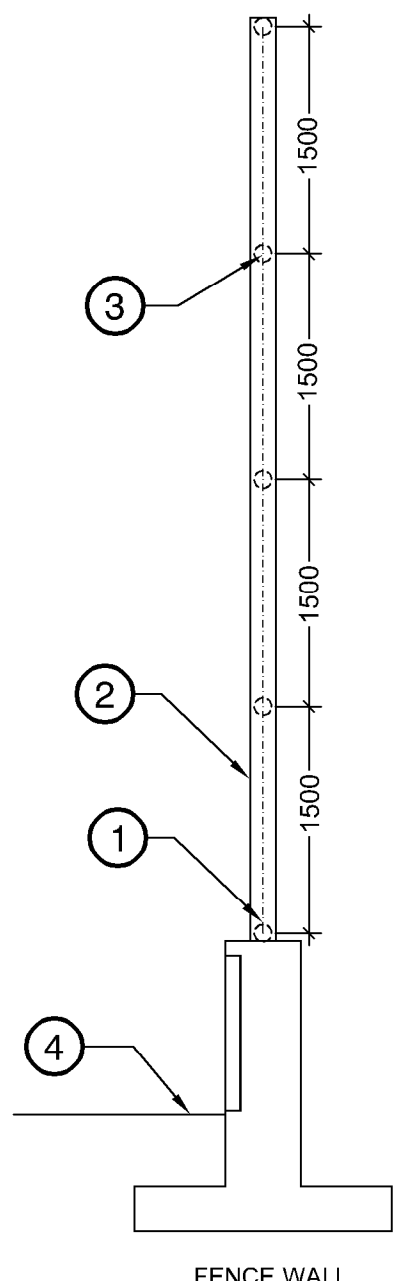
DRAWING TITLE: DETAILS



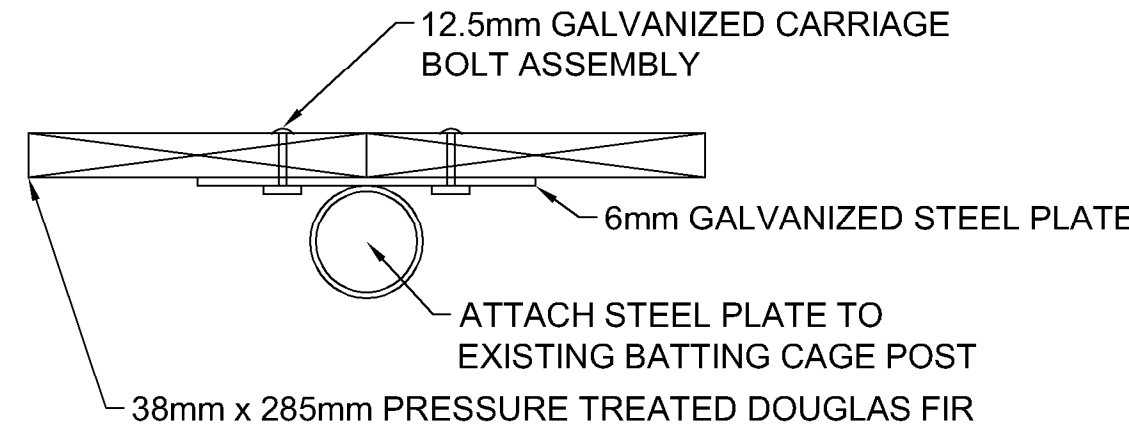
- 1 Posts caps to be welded.
2 Blk tie wires (9 ga.) tied at every knuckle top and bottom of rail. Every 2nd knuckle on mid rails.
3 Top rail. Refer to elevations for sizes.
4 Line, End, & Corner post. Refer to elevations for sizes.
5 6 gauge black vinyl coated, galvanized steel wire woven into 50 x 50mm size diamond pattern mesh, knuckled selvage top and bottom with Blk tie wire (9 ga.), typ.
6 Mid rails. Refer to elevations for sizes.
7 Vertical ties (6ga.)
8 20mm X 5mm Beveled edge tension bands wherever fabric ends.
9 Tension Band
10 Bottom Rail. Refer to elevations for sizes.
11 Finished surface / curb.
12 End post
13 Line post

- Notes:
1. Contractor to provide shop drawings for fencing and gates to Landscape Architect for approval prior to manufacturing.
2. Post spacing shall be equidistant to a maximum of 2440mm o.c. unless noted otherwise on plans.
3. All posts, rails and hardware to be galvanized and powder coated black.
4. All dimensions are in mm unless noted.
5. Any areas affected by cutting, welding, etc. shall be ground smooth and painted with two coats of black galvicon gloss (zinc paint).
6. Minimum 600 mm overlap on a middle rail if multiple chain link fabrics are required

- 1 Bottom rail to be 50mm above top of concrete wall / boards.
2 See chain link fence elevation for post sizing.
3 See chain link fence elevation for rail sizing.
4 Finished grade



- Note:
1. Contractor to provide shop drawings for fencing and gates to Landscape Architect for approval prior to manufacturing..
2. All posts, rails and hardware to be galvanized and powder coated black.
3. All dimensions are in mm unless noted.
4. Any areas affected by cutting, welding, etc. shall be ground smooth and painted with two coats of black galvicon gloss (zinc paint).
5. 50x50 mm diamonds 9 ga. blk tie wires
6. All ties to be 6 ga. black vinyl coated and located at every 2nd knuckle on rails and posts



1 SIDEFENCING AT BACKSTOP

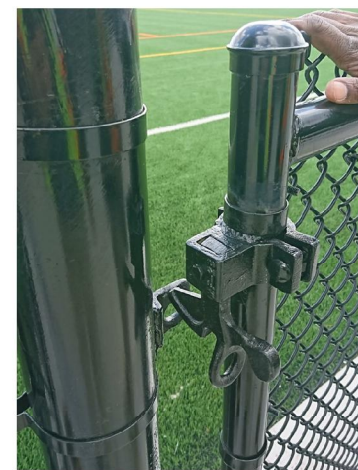
1:30

2 BACKSTOP FENCING

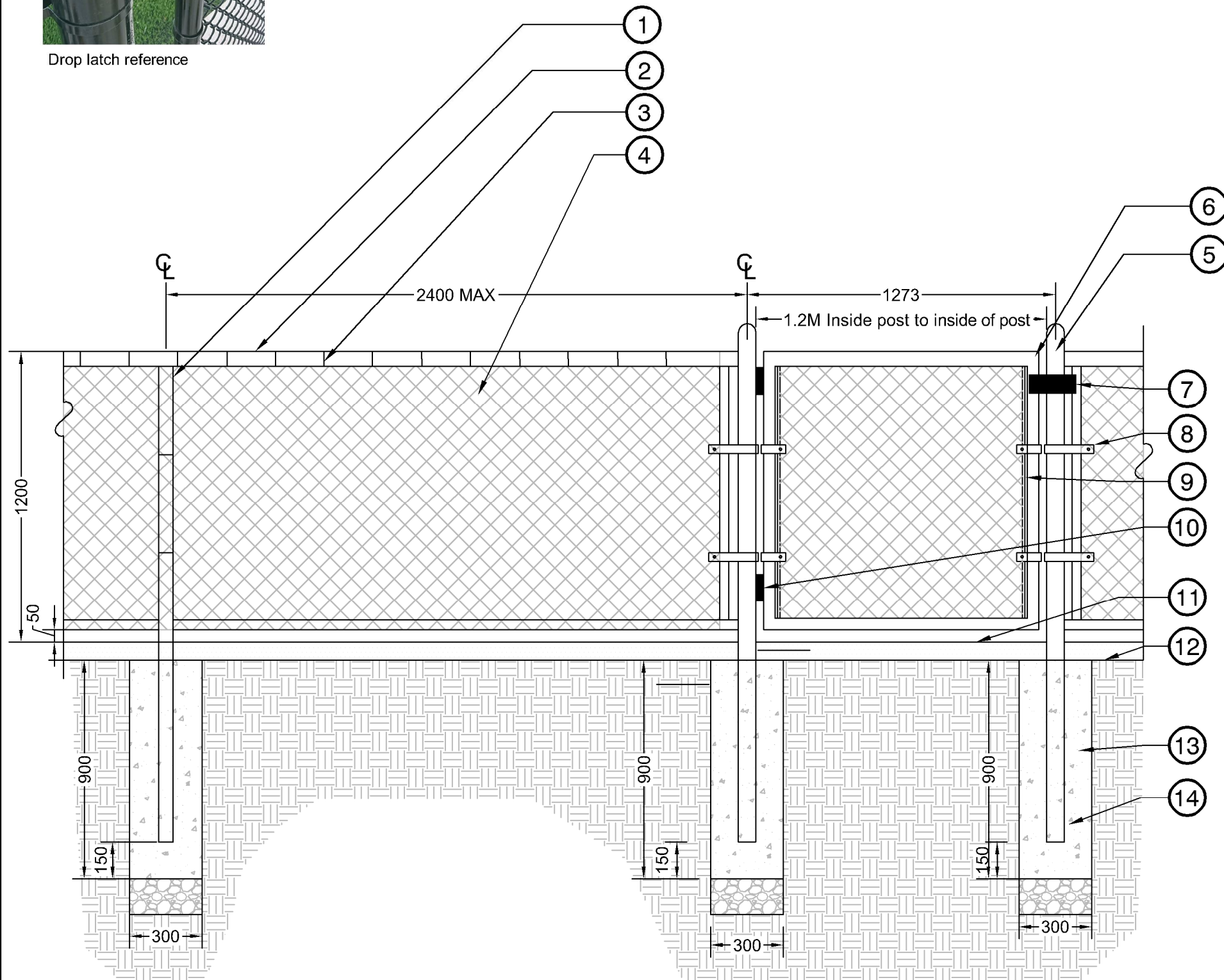
1:50

3 KICKBOARD

1:1



Drop latch reference

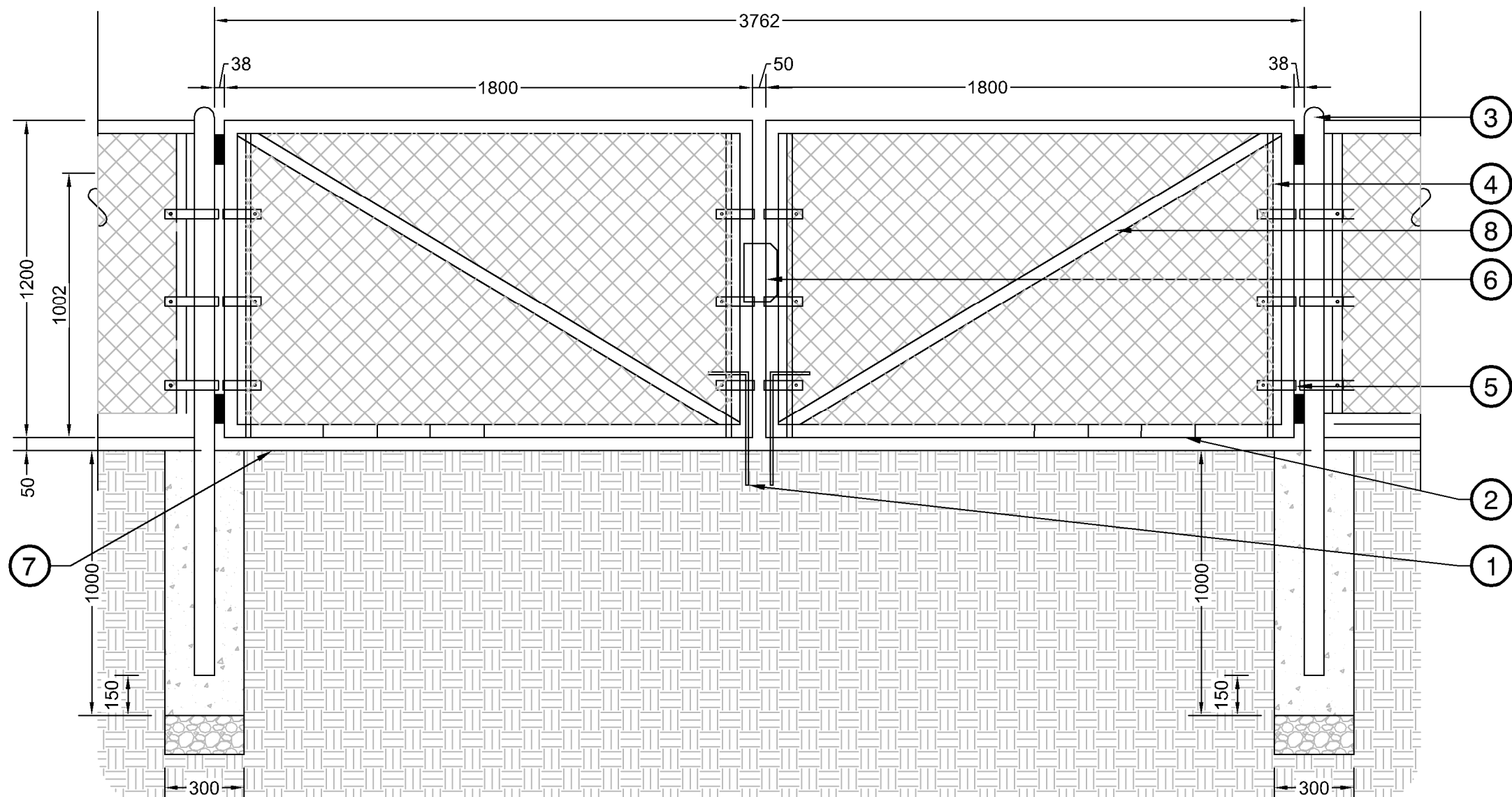


- 1 Schedule 40, 60mm O.D. Line post
2 Schedule 40, 60mm O.D. Top rail
3 Tie wire (9 ga.) tied at every knuckle
4 6 gauge 50mm diamond fabric, knuckled selvage, top and bottom
5 Schedule 40, 73mm O.D. Terminal post
6 Schedule 40, 40mm O.D. gate frame
7 Heavy duty gate latch. Drop latch and catch.
8 Connector bands - Typical
9 10mm X 5mm Beveled edge tension bands wherever fabric ends (typical)
10 Self closing hinge (non spring loaded) - 180 degree swing
11 Refer to plans and details for surface treatment
12 Finish grade
13 Concrete footing 300mmØ, 600mm depth, typ. Concrete sonotube. Post to be set in cement grout or hot poured sulphur.
14 Min. 150mm granular base (19mm minus) compacted to 95% MPD

- NOTES:
1. Post spacing shall be equidistant to a maximum of 2400mm o.c. unless noted otherwise on layout and materials plan.
2. Wire mesh to be coated black vinyl.
3. All posts and hardware to be galvanized rails and painted black.
4. All Dimensions are in mm unless noted
5. Contractor to provide shop detail drawings for fencing and gates to Landscape Architect for approval prior to manufacturing.
6. Refer to specifications and notes for clarification.
7. All interior gates to open 180°
8. All gates to open away from playing surface.
9. Field welds galvicon and painted over blk

- Note:
1. All posts, gate posts, rails and hardware to be galvanized and powder-coated black.
2. Provide shop drawings of fence and gates for approval by Landscape Architect.
3. All Dimensions are in mm unless noted.
4. All posts, gate posts, rails and hardware to be galvanized and powder-coated black.
5. Standard continuous butt weld, welds painted w/ galvicon or approved equiv. Fittings not accepted.
6. Gates to open 180 degrees as per plan.

- 1 Lockable drop pin to be provided in closed and open positions. Open position to have drop pin hole for both gates.
2 48mm O.D. gate frame.
3 73mm O.D. Corner and end posts caps to be welded
4 20mm X 5mm Beveled edge tension bands wherever fabric ends.
5 Connector band.
6 Lockable fence latch.
7 Finished Grade.
8 48mm (2") O.D. Cross Brace



5 1.2M CHAINLINK VEHICULAR GATE

1:20

NOT FOR CONSTRUCTION

No.	By:	Description	Date
8	AM	Issued for Tender	2025-02-10
7	AM	Issued for Coordination	2025-12-02
6	RMK	Issued for Coordination	2025-10-20
5	AM	Issued for Tender	2025-08-12
4	AM	Issued for Tender	2025-07-24
3	RMK	Issued for 90% Review	2025-04-20
2	RMK	Issued for 50% Review	2025-04-02
1	RMK	Issued for 25% Review	2025-02-07

REVISIONS TABLE FOR DRAWINGS

Copyright reserved. This drawing and design is the property of VDZ+A and may not be reproduced or used for other projects without permission.

No.	By:	Description	Date
REVISIONS TABLE FOR SHEET			
Project: MACKIN YARD BALL DIAMOND RENEWAL			
Location: 1046 BRUNETTE AVENUE COQUITLAM, B.C.			

Drawn: RMK HK	Stamp:
Checked: AM	PP No.: 1001970
Approved: DJ	Original Sheet Size: 24"x36"
CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCY TO THE CONSULTANT BEFORE PROCEEDING. ALL DRAWINGS AND SPECIFICATIONS ARE THE EXCLUSIVE PROPERTY OF THE OWNER AND MUST BE RETURNED AT THE COMPLETION OF THE WORK. ALL REWORKING/REPAIRS/DRAWINGS MUST NOT BE PRICED FOR CONSTRUCTION UNLESS LABELED ISSUED FOR TENDER/CONSTRUCTION.	

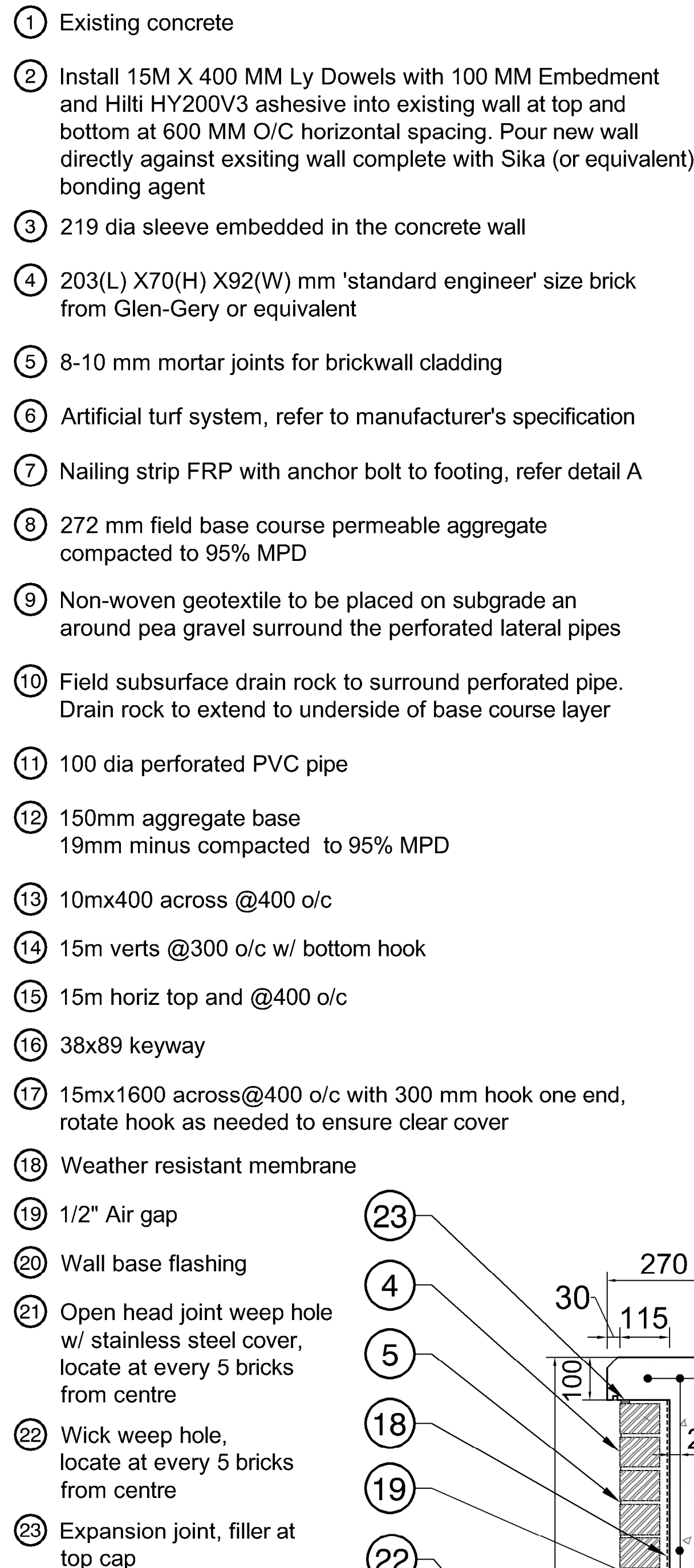
Drawing Title:
DETAILS

VDZ Project #:
PR2024-20

Drawing #:
LD-02

-
- (20) Weather resistant membrane
- (21) 1/2" Air gap
- (22) Wall base flashing
- (23) Open head joint weep hole w/ stainless steel cover, locate at every 5 bricks from centre
- (24) Wick weep hole, locate at every 5 bricks from centre
- (25) Expansion joint, filler at top cap
- (26) Vertical joint minimum every 9m
- (6)
- (A)
- (B)
- (3)
- (4)
- (5)
- (20)
- (21)
- (23)
- (24)
- (22)
- (18)
- (A)
- ATF SCOPE - INCLUDES NAILS / STAPLES
- GC SCOPE
- 270
- 115
- 141
- 132
- 150
- 300
- 1046
- 946
- 1150
- 287
- 513
- 300
- 1100
- 300
- (1)
- (7)
- (8)
- (9)
- (10)
- (15)
- (16)
- (17)
- (11)

1 FENCE WALL DETAIL



2 FENCE WALL WITH EXISTING WALL

rotate hook as needed to ensure clear cover

- 18 Weather resistant membrane
- 19 1/2" Air gap
- 20 Wall base flashing
- 21 Open head joint weep hole w/ stainless steel cover, locate at every 5 bricks from centre
- 22 Wick weep hole, locate at every 5 bricks from centre
- 23 Expansion joint, filler at top cap

13
3
2
1
14
15
9
10
11
16
17
12

270
115
141
132
50
100
25
1150
272
200
472
300
1700
322

NOT FOR CONSTRUCTION

8	AM	Issued for Tender	2026-02-10
7	AM	Issued for Coordination	2025-12-02
6	RMK	Issued for Coordination	2025-10-20
5	AM	Issued for Tender	2025-08-12
4	AM	Issued for Tender	2025-07-24
3	RMK	Issued for 90% Review	2025-04-20
2	RMK	Issued for 50% Review	2025-04-02
1	RMK	Issued for 25% Review	2025-02-07
No.	By:	Description	Date

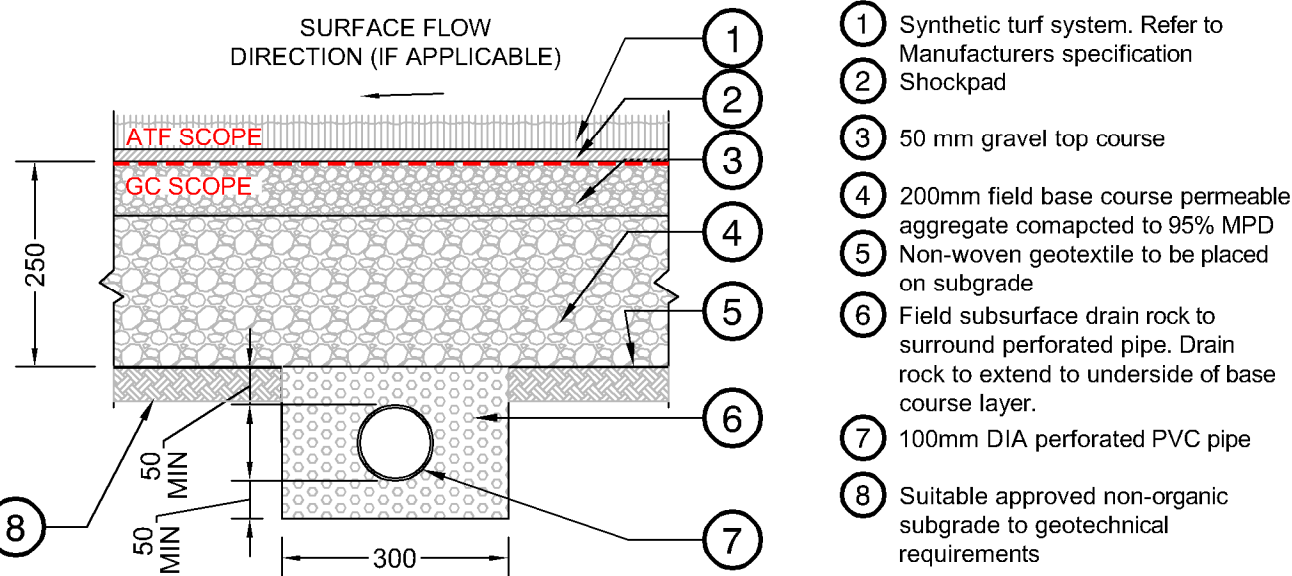
Project:
MACKIN YARD BALL DIAMOND
RENEWAL

Drawn: RMK HK	Stamp:
Checked: AM	PP No.: 1001970
Approved: DJ	Original Sheet Size: 24"x36"

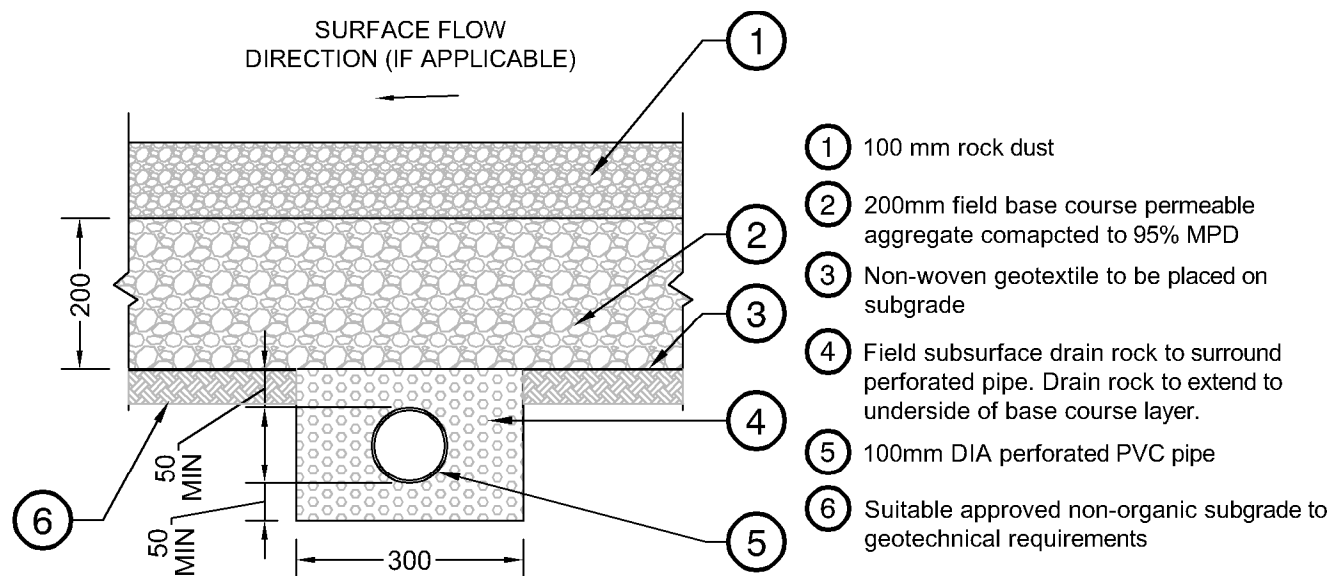
CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCY TO THE CONSULTANT BEFORE PROCEEDING. ALL DRAWINGS AND SPECIFICATIONS ARE THE EXCLUSIVE PROPERTY OF THE OWNER AND MUST BE RETURNED AT THE COMPLETION OF THE WORK. ALL REZONING/DP/PA/FA/HABP DRAWINGS MUST NOT BE PRICED FOR CONSTRUCTION UNLESS LABELED ISSUED FOR TENDER/CONSTRUCTION.

Drawing #:
LD-03

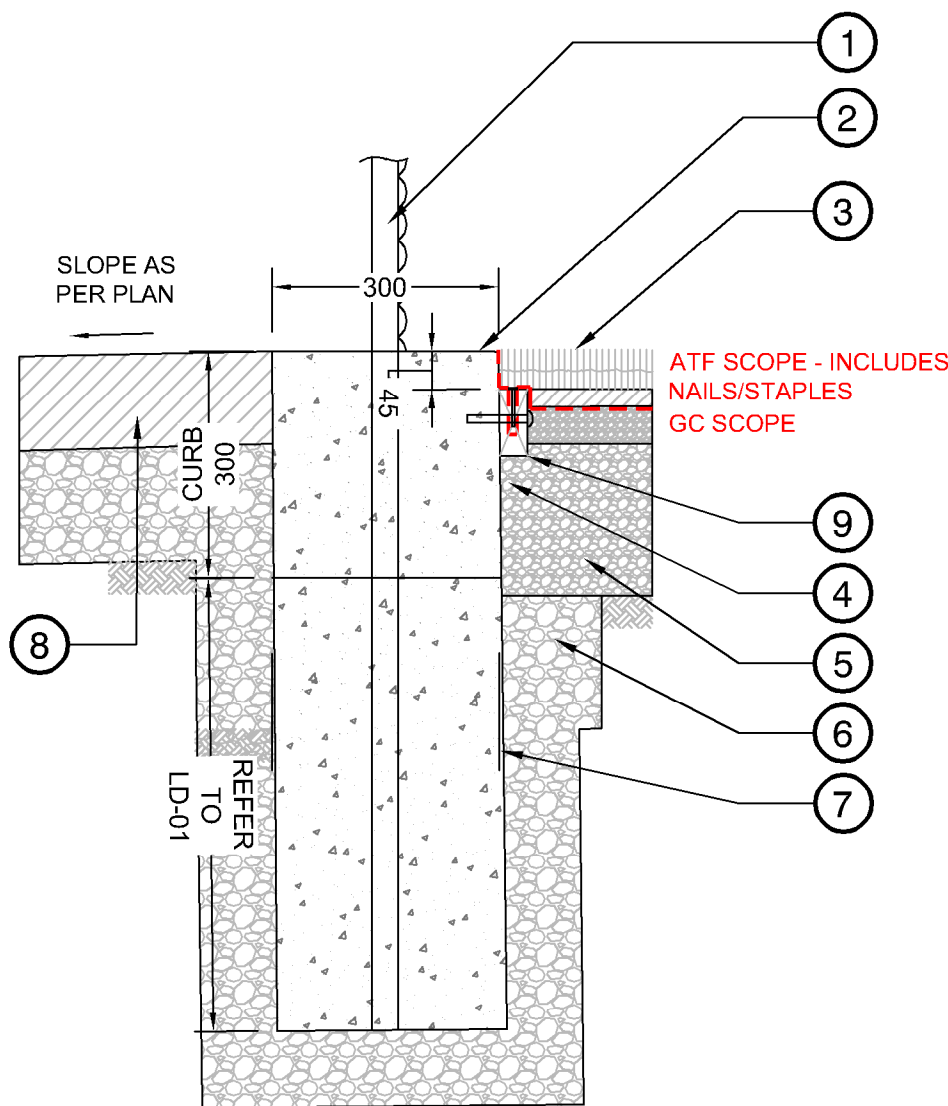
Z:\PROJECTS\PARKS & RECREATION\ACTIVE\2024\PR2024-20 MACKIN PARK BALL FIELD.DWG, DWG SHEET (S) LD-04 DETAILS.DWG



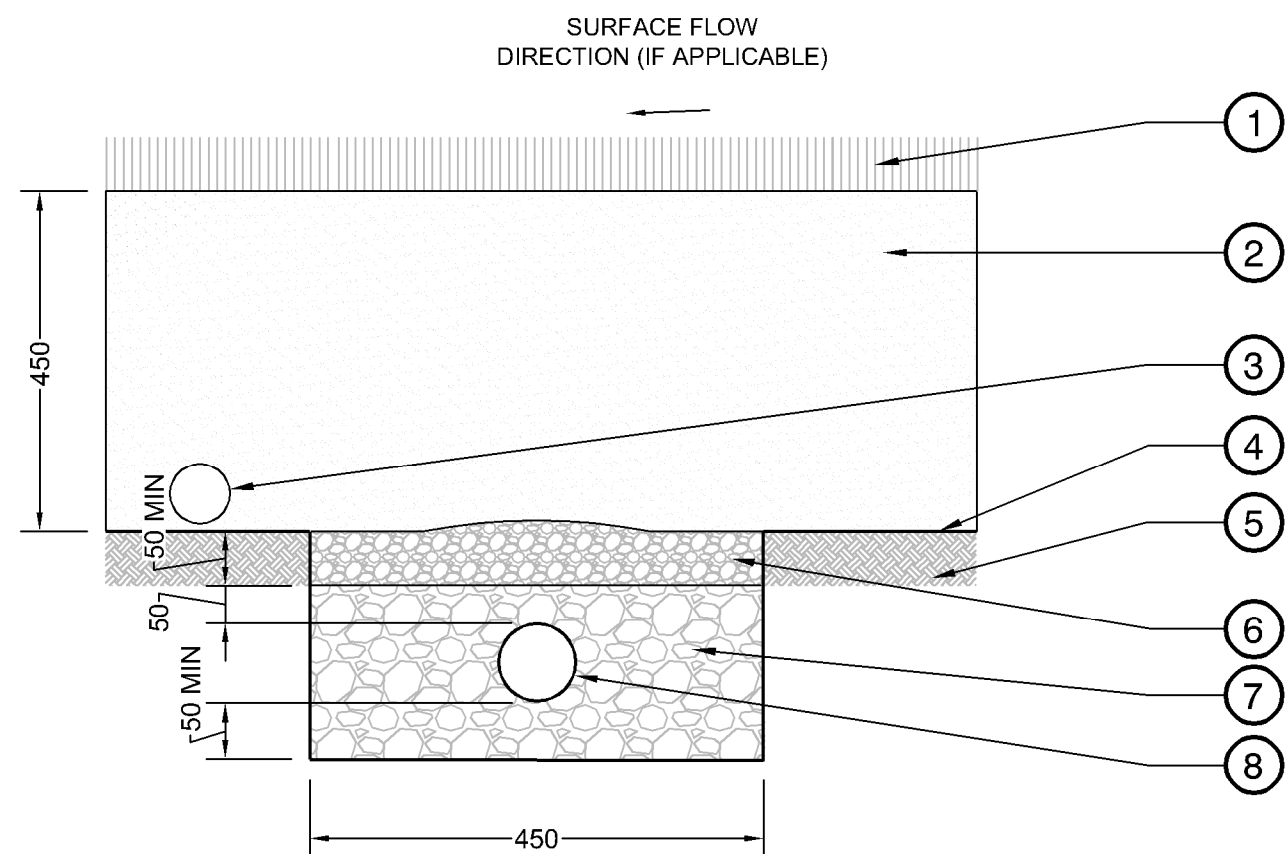
1 SYNTHETIC TURF
1:10



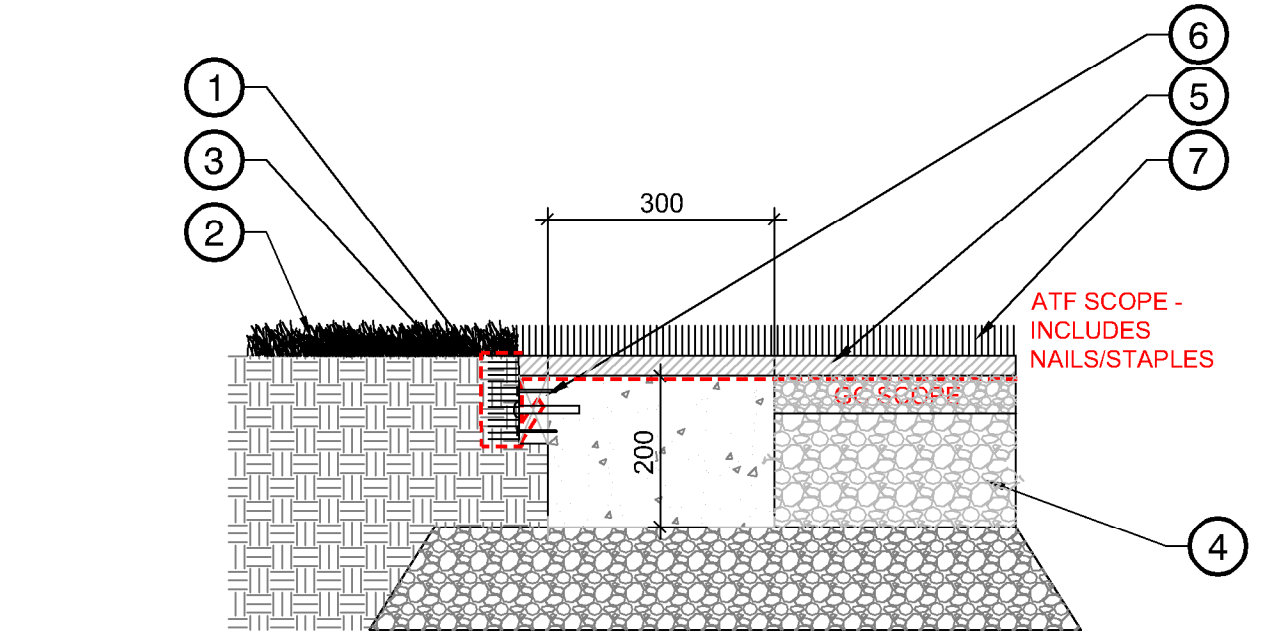
2 ROCK DUST
1:10



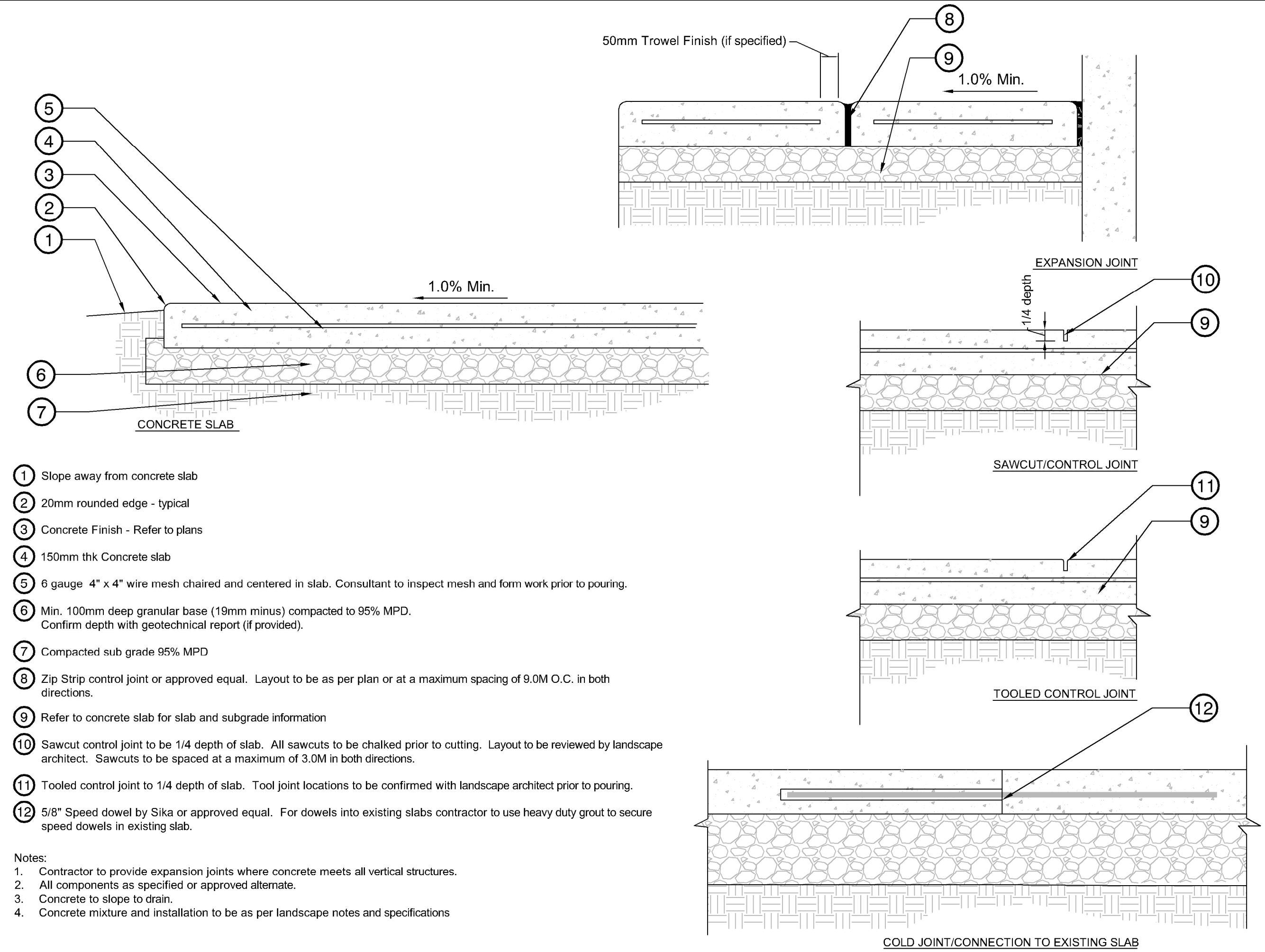
3 SYNTHETIC TURF CURB FOR 1.2 M HIGH FENCE
1:10



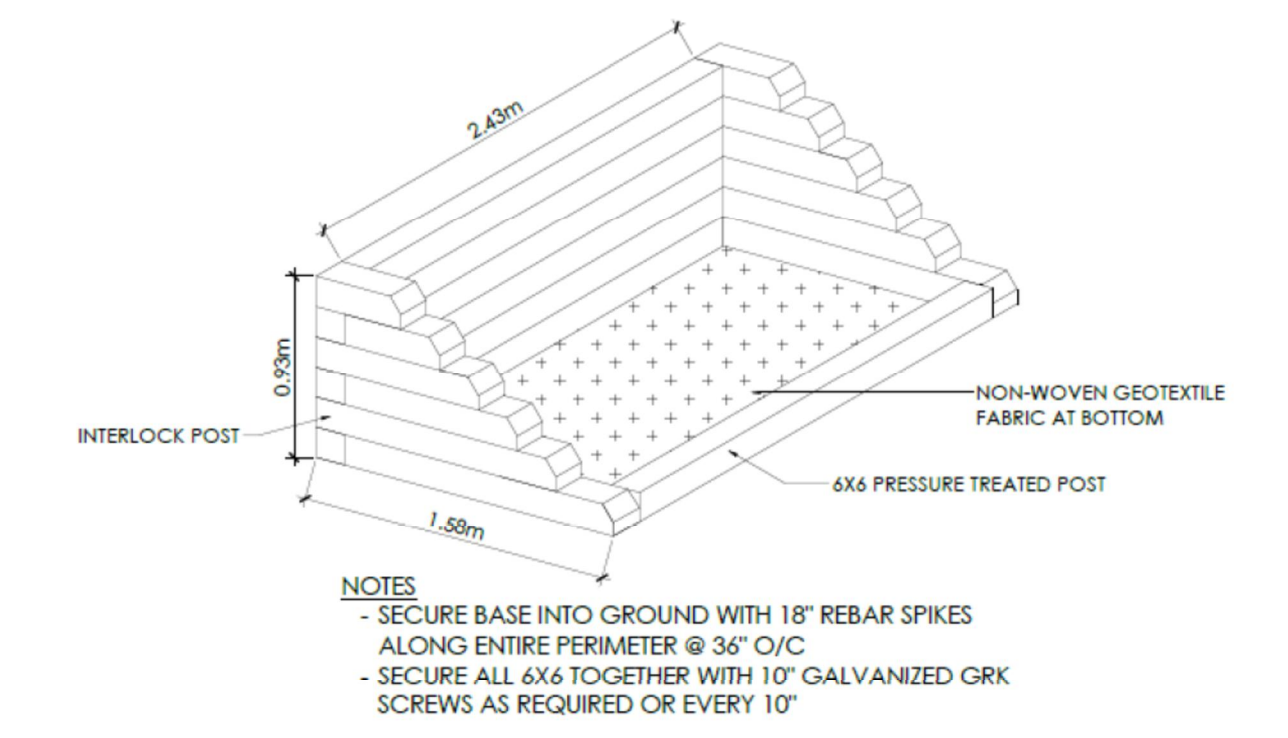
4 SAND FIELD
1:10
P-PR202420-130



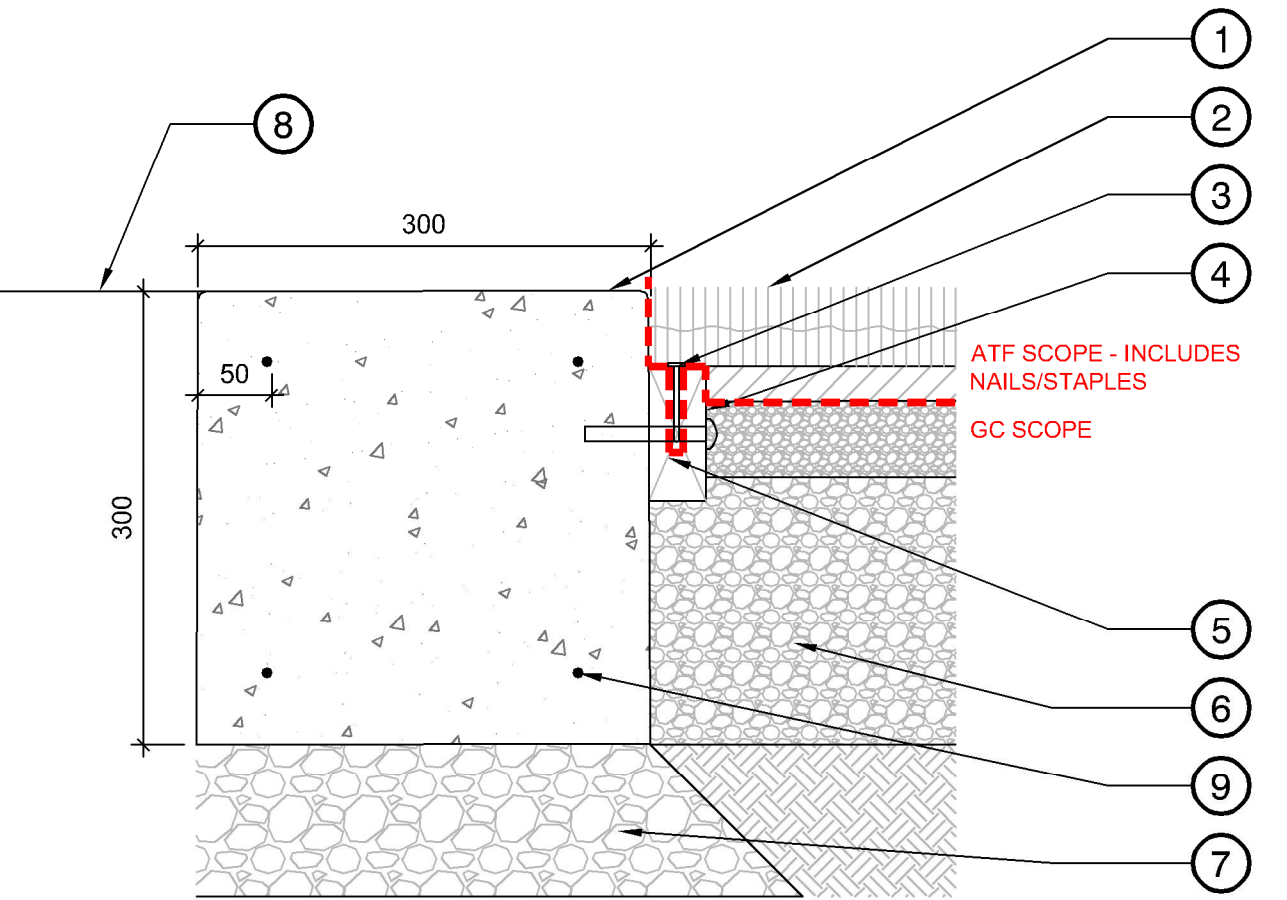
5 SYNTHETIC TURF TO SURFACE TRANSITION
1:10



6 CONCRETE SLAB - WIRE MESH
1:10



7 ROCK DUST STORAGE BIN
1:10



8 SYNTHETIC TURF CURB
1:5

NOT FOR CONSTRUCTION

No.	By:	Description	Date
8	AM	Issued for Tender	2025-02-10
7	AM	Issued for Coordination	2025-12-02
6	RMK	Issued for Coordination	2025-10-20
5	AM	Issued for Tender	2025-08-12
4	AM	Issued for Tender	2025-07-24
3	RMK	Issued for 90% Review	2025-04-20
2	RMK	Issued for 50% Review	2025-04-02
1	RMK	Issued for 25% Review	2025-02-07

No.	By:	Description	Date
8	AM	Issued for Tender	2025-02-10
7	AM	Issued for Coordination	2025-12-02
6	RMK	Issued for Coordination	2025-10-20
5	AM	Issued for Tender	2025-08-12
4	AM	Issued for Tender	2025-07-24
3	RMK	Issued for 90% Review	2025-04-20
2	RMK	Issued for 50% Review	2025-04-02
1	RMK	Issued for 25% Review	2025-02-07

No.	By:	Description	Date
8	AM	Issued for Tender	2025-02-10
7	AM	Issued for Coordination	2025-12-02
6	RMK	Issued for Coordination	2025-10-20
5	AM	Issued for Tender	2025-08-12
4	AM	Issued for Tender	2025-07-24
3	RMK	Issued for 90% Review	2025-04-20
2	RMK	Issued for 50% Review	2025-04-02
1	RMK	Issued for 25% Review	2025-02-07

No.	By:	Description	Date
8	AM	Issued for Tender	2025-02-10
7	AM	Issued for Coordination	2025-12-02
6	RMK	Issued for Coordination	2025-10-20
5	AM	Issued for Tender	2025-08-12
4	AM	Issued for Tender	2025-07-24
3	RMK	Issued for 90% Review	2025-04-20
2	RMK	Issued for 50% Review	2025-04-02
1	RMK	Issued for 25% Review	2025-02-07

No.	By:	Description	Date
8	AM	Issued for Tender	2025-02-10
7	AM	Issued for Coordination	2025-12-02
6	RMK	Issued for Coordination	2025-10-20
5	AM	Issued for Tender	2025-08-12
4	AM	Issued for Tender	2025-07-24
3	RMK	Issued for 90% Review	2025-04-20
2	RMK	Issued for 50% Review	2025-04-02
1	RMK	Issued for 25% Review	2025-02-07

No.	By:	Description	Date
8	AM	Issued for Tender	2025-02-10
7	AM	Issued for Coordination	2025-12-02
6	RMK	Issued for Coordination	2025-10-20
5	AM	Issued for Tender	2025-08-12
4	AM	Issued for Tender	2025-07-24
3	RMK	Issued for 90% Review	2025-04-20
2	RMK	Issued for 50% Review	2025-04-02
1	RMK	Issued for 25% Review	2025-02-07

No.	By:	Description	Date
8	AM	Issued for Tender	2025-02-10
7	AM	Issued for Coordination	2025-12-02
6	RMK	Issued for Coordination	2025-10-20
5	AM	Issued for Tender	2025-08-12
4	AM	Issued for Tender	2025-07-24
3	RMK	Issued for 90% Review	2025-04-20
2	RMK	Issued for 50% Review	2025-04-02
1	RMK	Issued for 25% Review	2025-02-07

No.	By:	Description	Date
8	AM	Issued for Tender	2025-02-10
7	AM	Issued for Coordination	2025-12-02
6	RMK	Issued for Coordination	2025-10-20
5	AM	Issued for Tender	2025-08-12
4	AM	Issued for Tender	2025-07-24
3	RMK	Issued for 90% Review	2025-04-20
2	RMK	Issued for 50% Review	2025-04-02
1	RMK	Issued for 25% Review	2025-02-07

No.	By:	Description	Date
8	AM	Issued for Tender	2025-02-10
7	AM	Issued for Coordination	2025-12-02
6	RMK	Issued for Coordination	2025-10-20
5	AM	Issued for Tender	2025-08-12
4	AM	Issued for Tender	2025-07-24
3	RMK	Issued for 90% Review	2025-04-20
2	RMK	Issued for 50% Review	2025-04-02
1	RMK	Issued for 25% Review	2025-02-07

No.	By:	Description	Date
8	AM	Issued for Tender	2025-02-10
7	AM	Issued for Coordination	2025-12-02
6	RMK	Issued for Coordination	2025-10-20
5	AM	Issued for Tender	2025-08-12
4	AM	Issued for Tender	2025-07-24
3	RMK	Issued for 90% Review	2025-04-20
2	RMK	Issued for 50% Review	2025-04-02
1	RMK	Issued for 25% Review	2025-02-07

No.	By:	Description	Date
8	AM	Issued for Tender	2025-02-10
7	AM	Issued for Coordination	2025-12-02
6	RMK	Issued for Coordination	2025-10-20
5	AM	Issued for Tender	2025-08-12
4	AM	Issued for Tender	2025-07-24
3	RMK	Issued for 90% Review	2025-04-20
2	RMK	Issued for 50% Review	2025-04-02
1	RMK	Issued for 25% Review	2025-02-07

No.	By:	Description	Date
8	AM	Issued for Tender	2025-02-10
7	AM	Issued for Coordination	2025-12-02
6	RMK	Issued for Coordination	2025-10-20
5	AM	Issued for Tender	2025-08-12
4	AM	Issued for Tender	2025-07-24
3	RMK	Issued for 90% Review	2025-04-20
2	RMK	Issued for 50% Review	2025-04-02
1	RMK	Issued for 25% Review	2025-02-07

No.	By:	Description	Date
8	AM	Issued for Tender	2025-02-10
7	AM	Issued for Coordination	2025-12-02
6	RMK	Issued for Coordination	2025-10-20
5	AM	Issued for Tender	2025-08-12
4	AM	Issued for Tender	2025-07-24
3	RMK	Issued for 90% Review	2025-04-20
2	RMK	Issued for 50% Review	2025-04-02
1	RMK	Issued for 25% Review	2025-02-07

No.	By:	Description	Date
8	AM	Issued for Tender	2025-02-10
7	AM	Issued for Coordination	2025-12-02
6	RMK	Issued for Coordination	2025-10-20
5	AM	Issued for Tender	2025-08-12
4	AM	Issued for Tender	2025-07-24
3	RMK	Issued for 90% Review	2025-04-20
2	RMK	Issued for 50% Review	2025-04-02
1	RMK	Issued for 25% Review	2025-02-07

No.	By:	Description	Date
8	AM	Issued for Tender	2025-02-10
7	AM	Issued for Coordination	2025-12-02
6	RMK	Issued for Coordination	2025-10-20
5	AM	Issued for Tender	2025-08-12
4	AM	Issued for Tender	2025-07-24
3	RMK	Issued for 90% Review	2025-04-20
2	RMK	Issued for 50% Review	2025-04-02
1	RMK	Issued for 25% Review	2025-02-07

Drawing Title:
DETAILS

VDZ Project #:
PR2024-20

Drawing #:
LD-04

- Notes:
- Contractor to provide expansion joints where concrete meets all vertical structures.
 - All components as specified or approved alternate.
 - Concrete to slope to drain.
 - Concrete mixture and installation to be as per landscape notes and specifications

- Wrap around edger. Attach with staples or nails at max 50mm O.C.
- Existing natural grass to finish flush with synthetic turf. Restoration of edge with sand based sod up to edger after turf installation
- Sand infill transition to meet natural grass
- 200mm field base course permeable aggregate compacted to 95% MPD
- Shock pad. Continuous over transition edger
- 38 x 89 plastic lumber to be bolted to concrete curb at 300mm spacing with 7mm gaps between boards.
- Synthetic turf infill

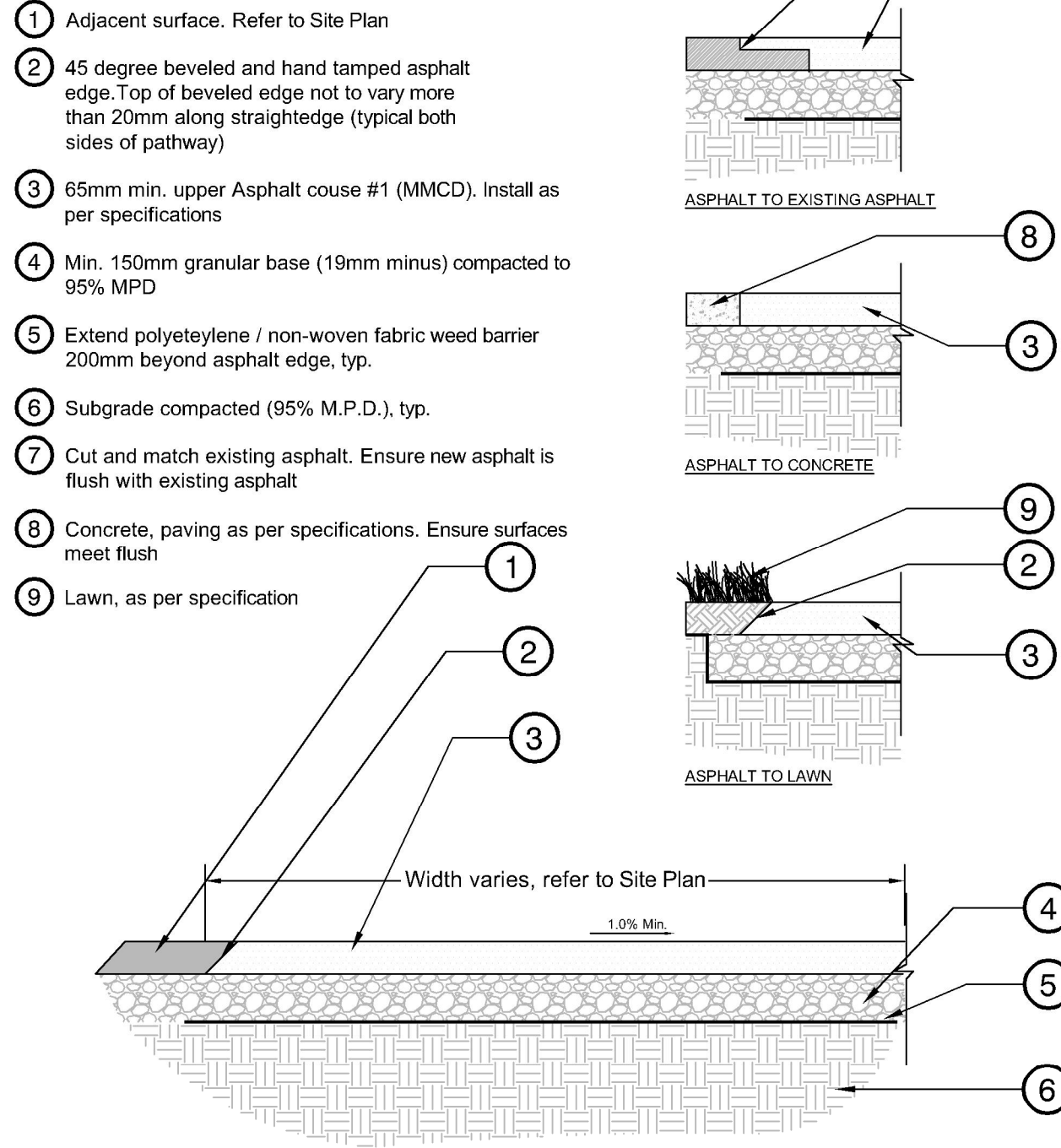
Notes:

-Smooth trowel finish for top of transition edger

- Concrete curb.
- Synthetic turf system. Refer to Manufacturer's specification and contract documents.
- Turf fastened to plastic lumber nailer with 2" twisted galvanized nails.
- 38 x 89 plastic lumber nailer to be bolted to concrete curb at 300mm spacing with 7mm gaps between boards.
- 89mm galvanized nails.
- Refer to synthetic turf detail for aggregate buildup.
- 100mm deep granular base (19mm minus) compacted to 95% MPD
- Adjacent surface, refer to plan
- 4-10m continuous bars

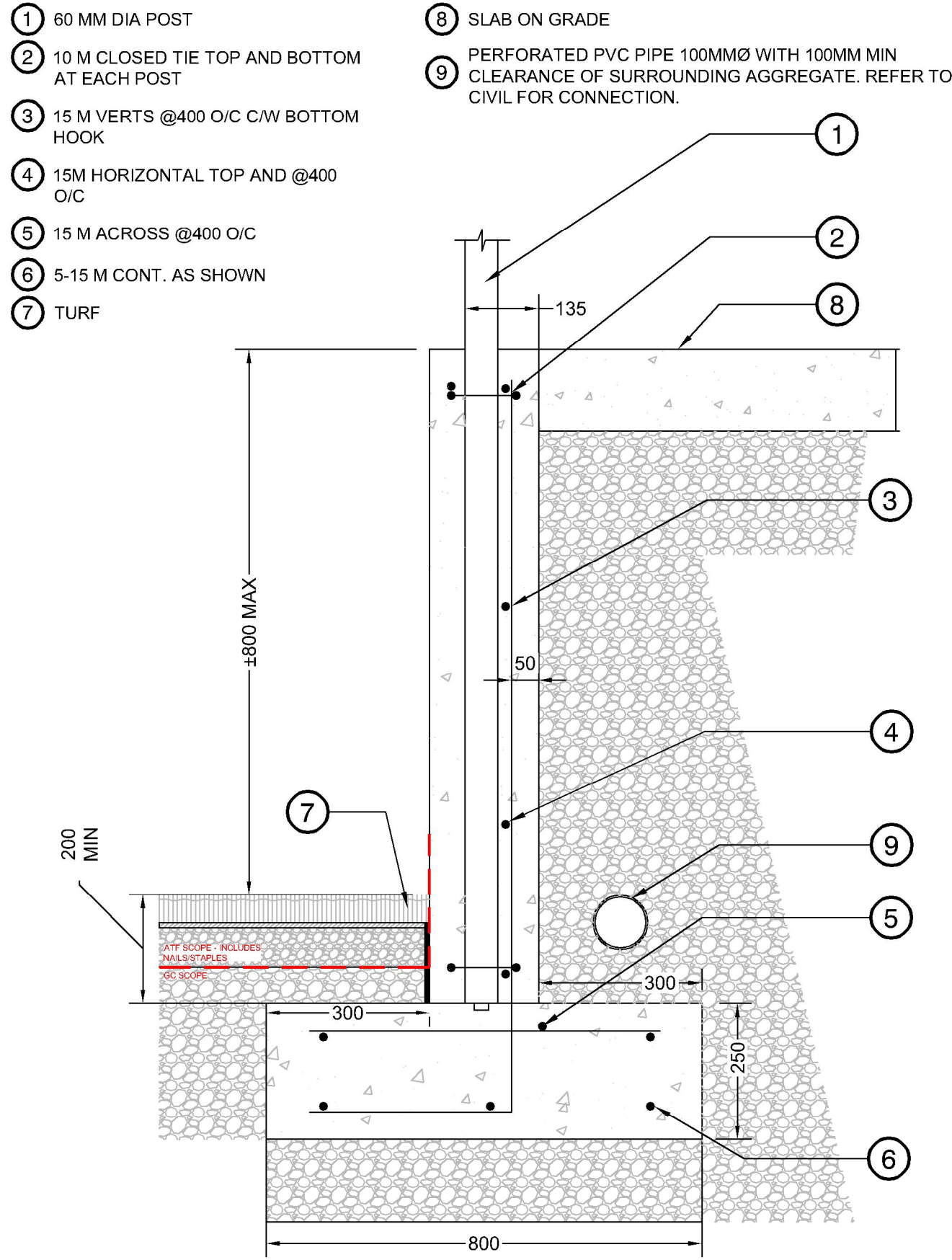
Drawn: RMK HK	Stamp:
Checked: AM	PP No.: 1001970
Approved: DJ	Original Sheet Size: 24"x36"
AS SHOWN	CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCY TO THE CONSULTANT BEFORE PROCEEDING. ALL DRAWINGS AND SPECIFICATIONS ARE THE EXCLUSIVE PROPERTY OF THE OWNER AND MUST BE RETURNED AT THE COMPLETION OF THE WORK. ALL REWORKING/REPAIRS/REWORKS MUST NOT BE PRICED FOR CONSTRUCTION UNLESS LABELED ISSUED FOR TENDER/CONSTRUCTION.

Z:\PROJECTS\PARKS & RECREATION\ACTIVE\2024\PR2024-20 MACKIN PARK BALL FIELD.DWG, DWG\SHEET\SLD-05 DETAILS.DWG



- Note:
- Excavate all organics to a minimum of 150mm to sub-grade prior to placement of weed barrier and base course.
 - Where asphalt path is constructed over utility services such as sewer, storm or water trails, path must be constructed to highway loading standard as per MMCD guidelines.
 - Contractor to ensure constant radial curves along pathway.

1 ASPHALT PATH TYPICAL
1:20



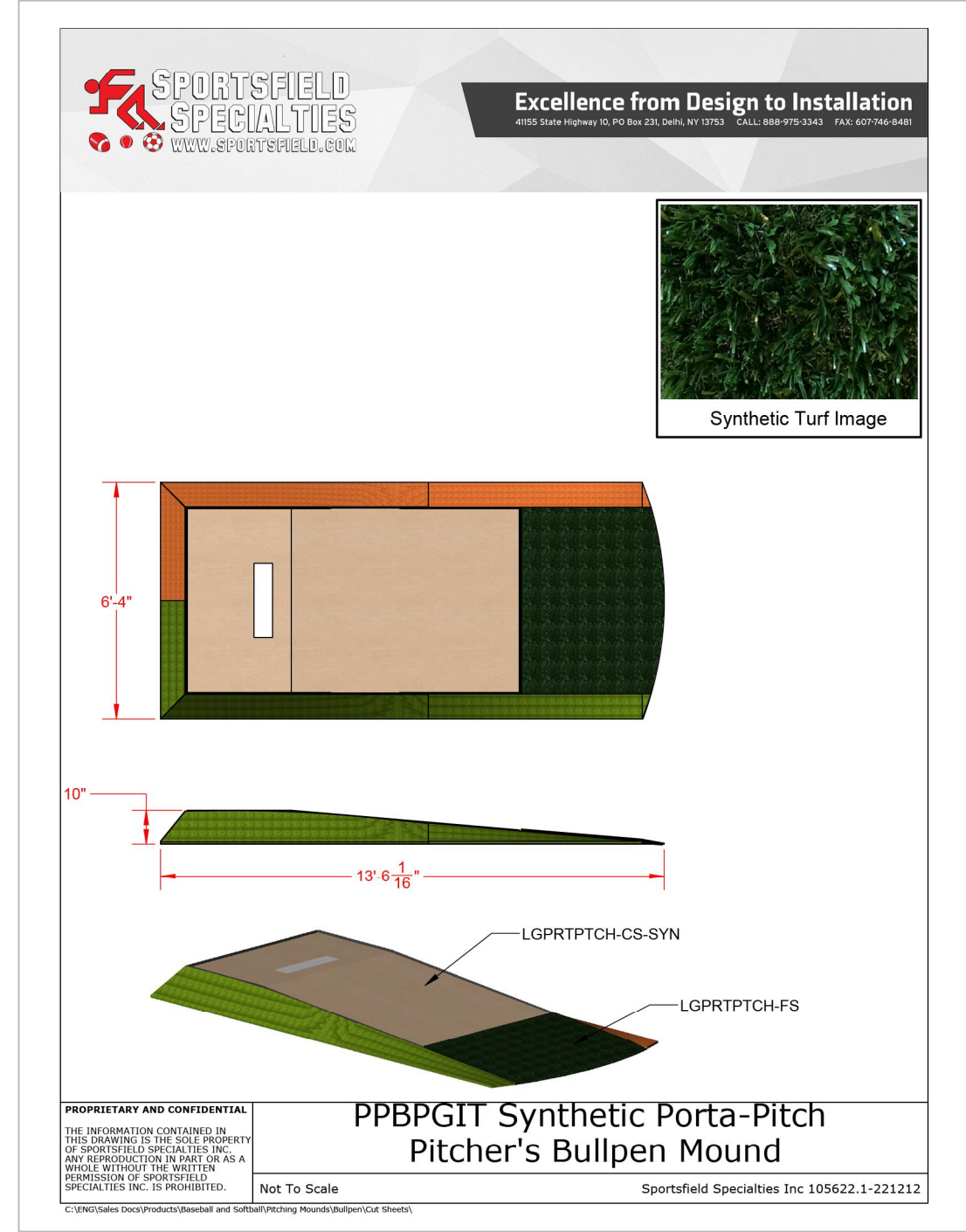
2 RETAINING WALL NEAR WEST DUGOUT
1:10



Product Name: Heavy-duty rubber backstop matting for fields
Product Number: 145-365-200
Supplier: Beacon Athletics
Website: <https://beaconathletics.com/>

- NOTE:
- Install as per manufacturers specifications

3 BULLPEN MATTING
1:10



Product Name: PPBPGIT Synthetic Porta-Pitch Pitcher's Bullpen Mound
Supplier: Sportsfield Specialties
Website: <https://www.sportsfield.com>
Quantity: 2

- NOTE:
- Install as per manufacturers specifications

4 BULLPEN PITCHING MOUND
N.T.S.

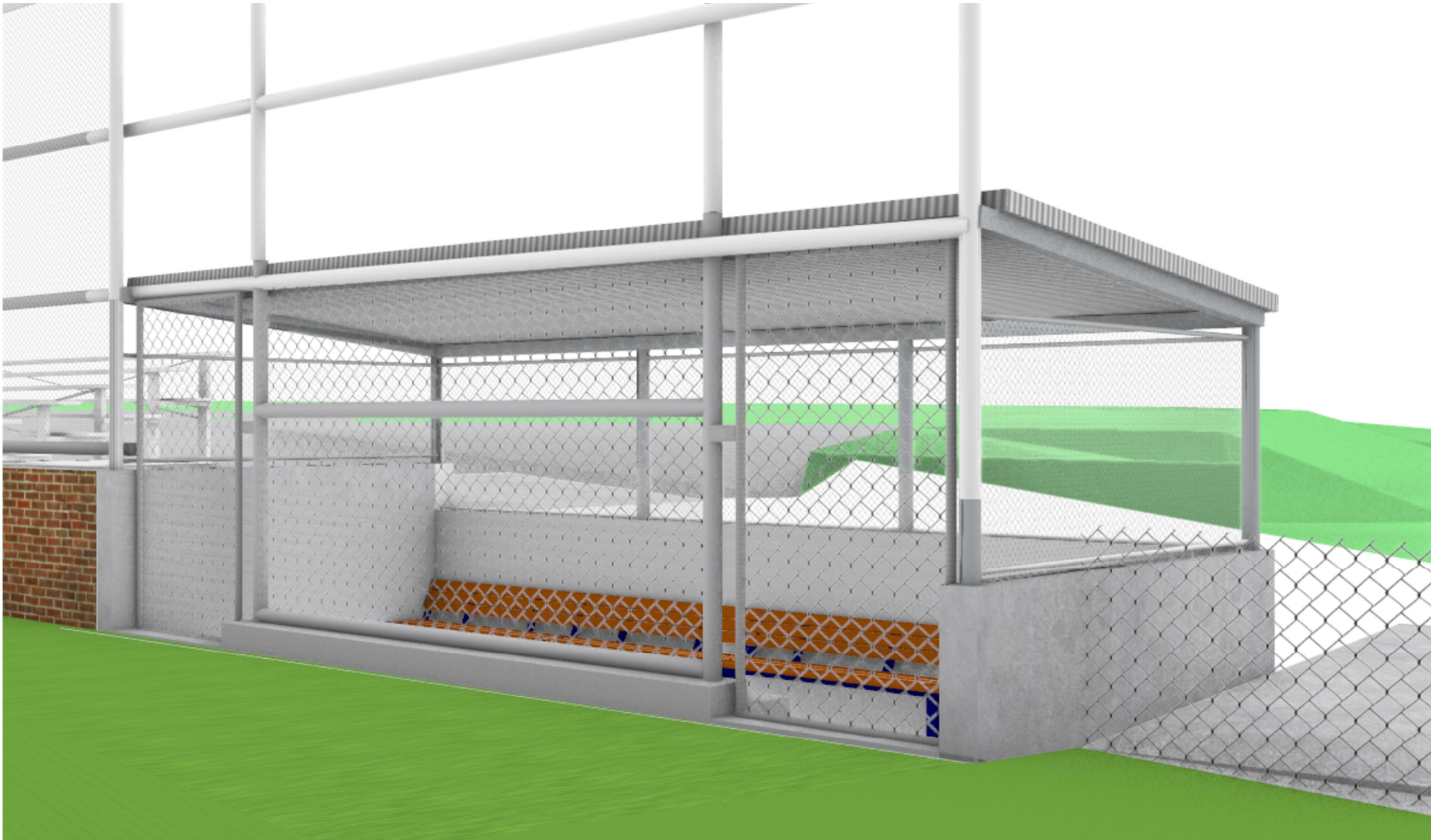
VDZ+A
LANDSCAPE ARCHITECTURE | CIVIL ENGINEERING | URBAN FORESTRY
FORT LANGLEY STUDIO | MOUNT PLEASANT STUDIO
100-9181 Church St 102-355 Kingsway
Fort Langley, BC Vancouver, BC
V1M 2R8 V5T 3J7
www.vdz.ca 604-882-0024

NOT FOR CONSTRUCTION

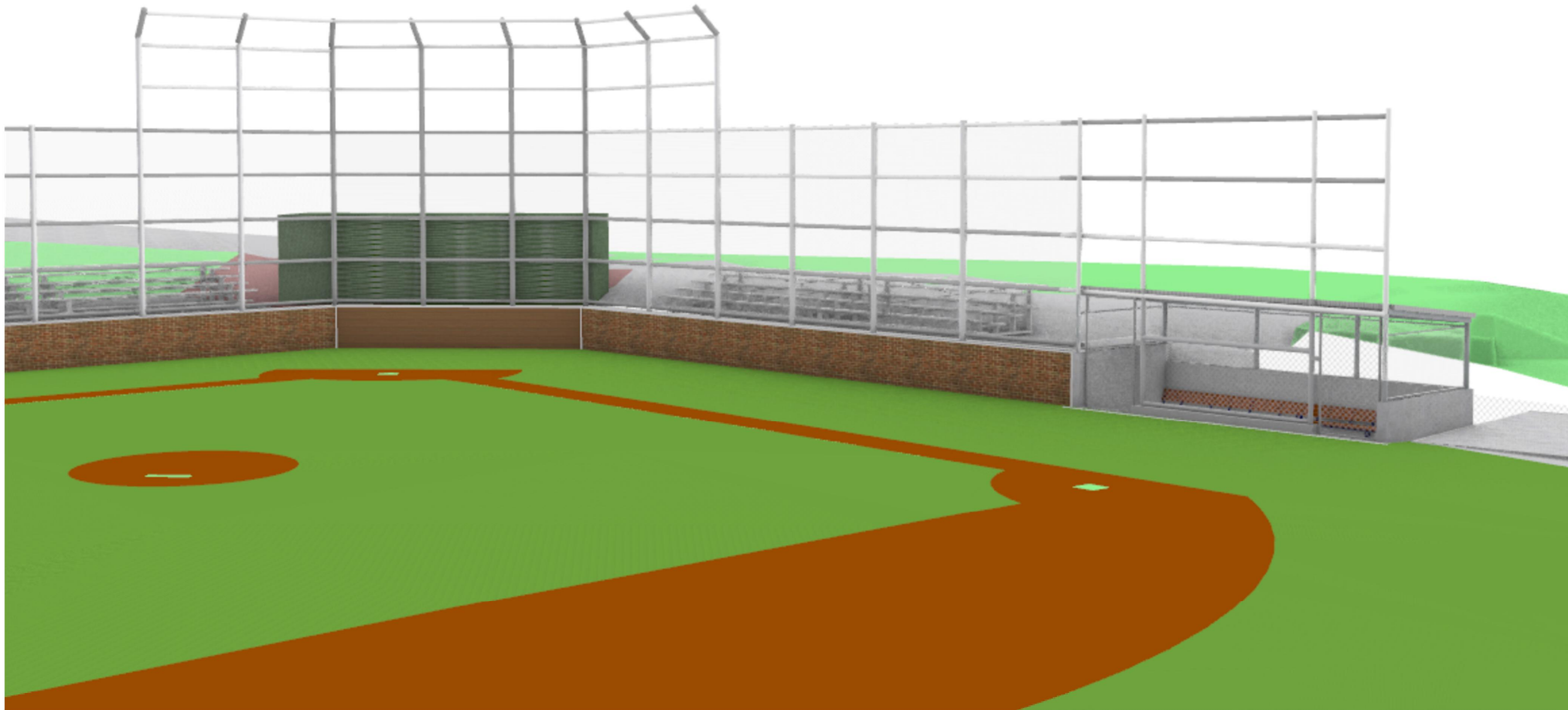
8	AM	Issued for Tender	2026-02-10
7	AM	Issued for Coordination	2025-12-02
6	RMK	Issued for Coordination	2025-10-20
5	AM	Issued for Tender	2025-08-12
4	AM	Issued for Tender	2025-07-24
3	RMK	Issued for 90% Review	2025-04-20
2	RMK	Issued for 50% Review	2025-04-02
1	RMK	Issued for 25% Review	2025-02-07
No.	By:	Description	Date
REVISIONS TABLE FOR DRAWINGS			
● Copyright reserved. This drawing and design is the property of VDD+A and may not be reproduced or used for other projects without permission.			
No.	By:	Description	Date
REVISIONS TABLE FOR SHEET			
Project: MACKIN YARD BALL DIAMOND RENEWAL			
Location: 1046 BRUNETTE AVENUE COQUITLAM, B.C.			
Drawn: HK RMK		Stamp: <	

Drawing Title: DETAILS
VDZ Project #: PR2024-20
Drawing #: LD-05

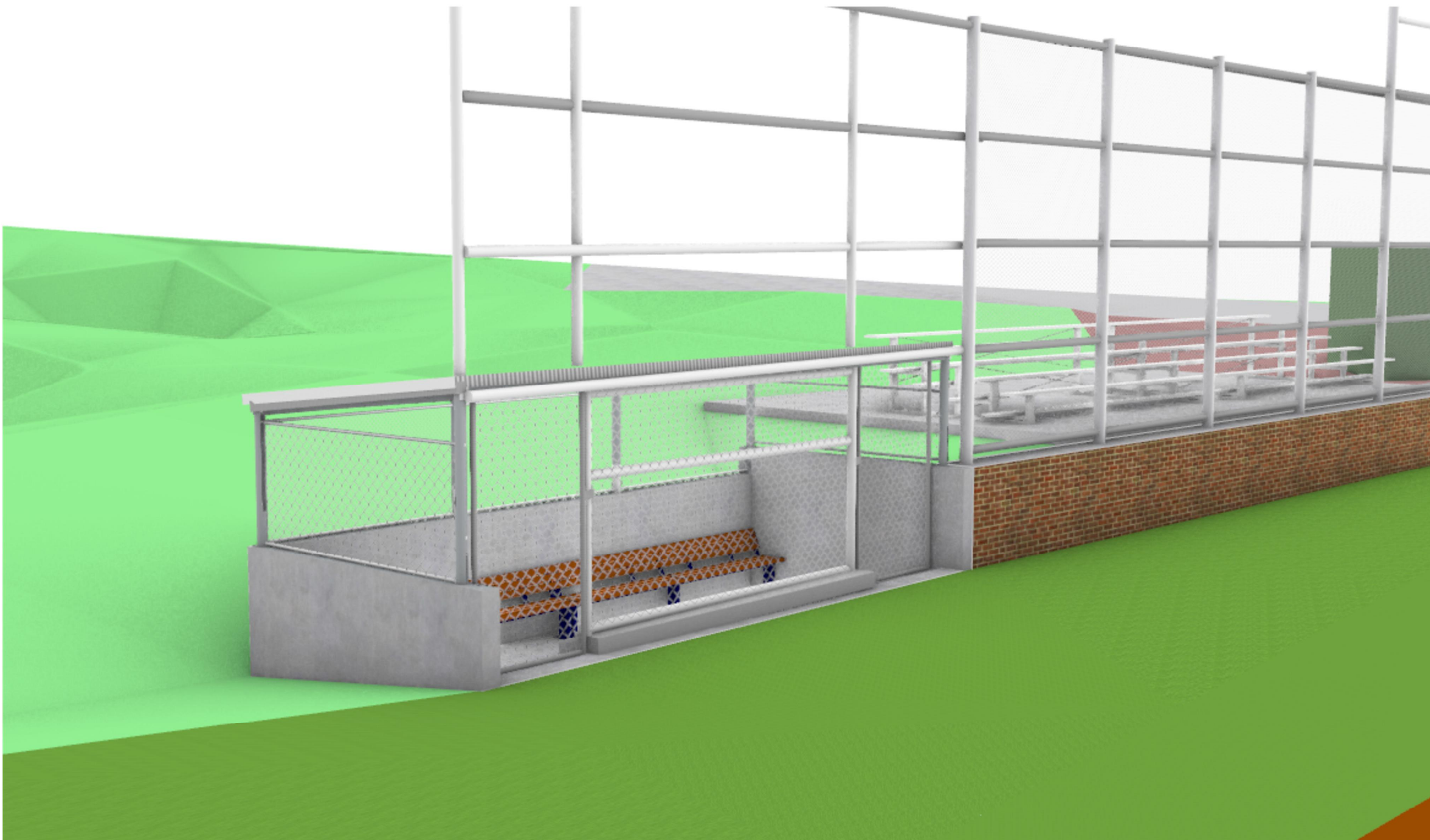
Z:\PROJECTS\PARKS & RECREATION\ACTIVE\2024\PR2024-20 MACKIN PARK BALL FIELDS.dwg, DWG SHEET\SLD-09 DETAILS.DWG



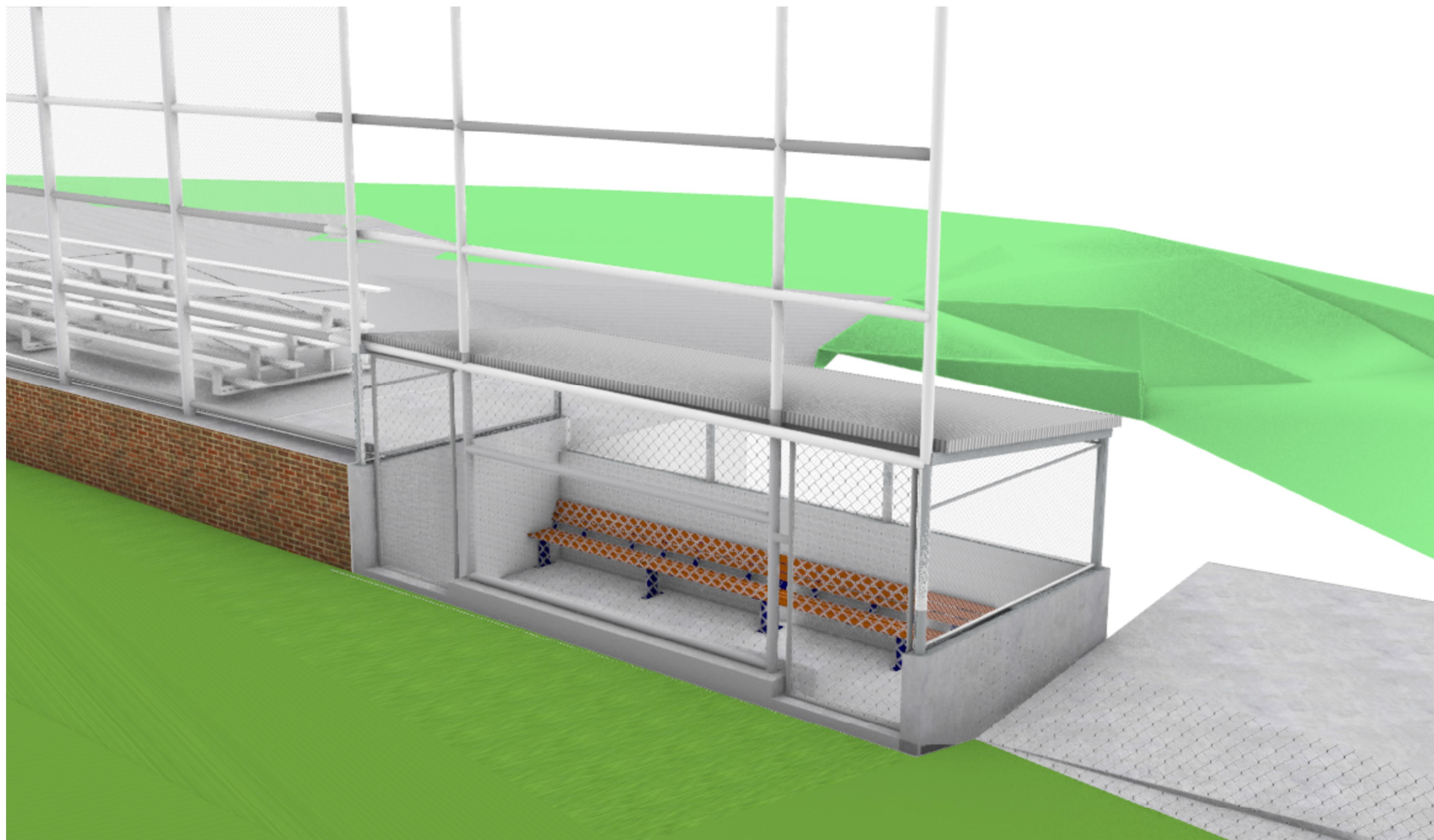
EAST DUGOUT CLOSE VIEW



EAST DUGOUT LARGER VIEW



EAST DUGOUT BIRD'S EYE VIEW



WEST DUGOUT

NOTES:
RENDERS ARE CONCEPTUAL IN NATURE. REFER TO DETAILS, SECTIONS AND PLANS

VDZ+A

LANDSCAPE ARCHITECTURE | CIVIL ENGINEERING | URBAN FORESTRY

FORT LANGLEY STUDIO | MOUNT PLEASANT STUDIO

100-9181 Church St | 102-355 Kingsway

Fort Langley, BC | Vancouver, BC

VLM 288 | VST 317

www.vdz.ca

604-882-0024

Key Map (NTS)

NOT FOR CONSTRUCTION

No.	By:	Description	Date
8	AM	Issued for Tender	2025-02-10
7	AM	Issued for Coordination	2025-12-02
6	RMK	Issued for Coordination	2025-10-20
5	AM	Issued for Tender	2025-08-12
4	AM	Issued for Tender	2025-07-24
3	RMK	Issued for 90% Review	2025-04-20
2	RMK	Issued for 50% Review	2025-04-02
1	RMK	Issued for 25% Review	2025-02-07

REVISIONS TABLE FOR DRAWINGS

Copyright reserved. This drawing and design is the property of Vdz+A and may not be reproduced or used for other projects without permission.

No.	By:	Description	Date

REVISIONS TABLE FOR SHEET

Project:
MACKIN YARD BALL DIAMOND
RENEWAL

Location:
1046 BRUNETTE AVENUE
COQUITLAM, B.C.

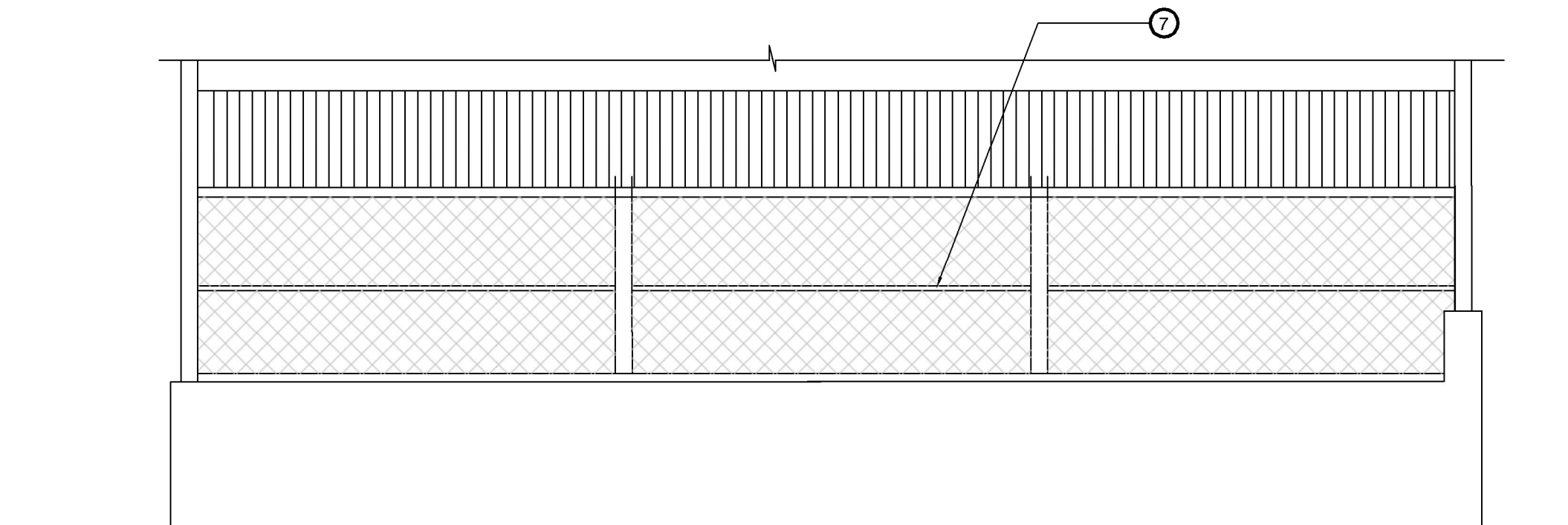
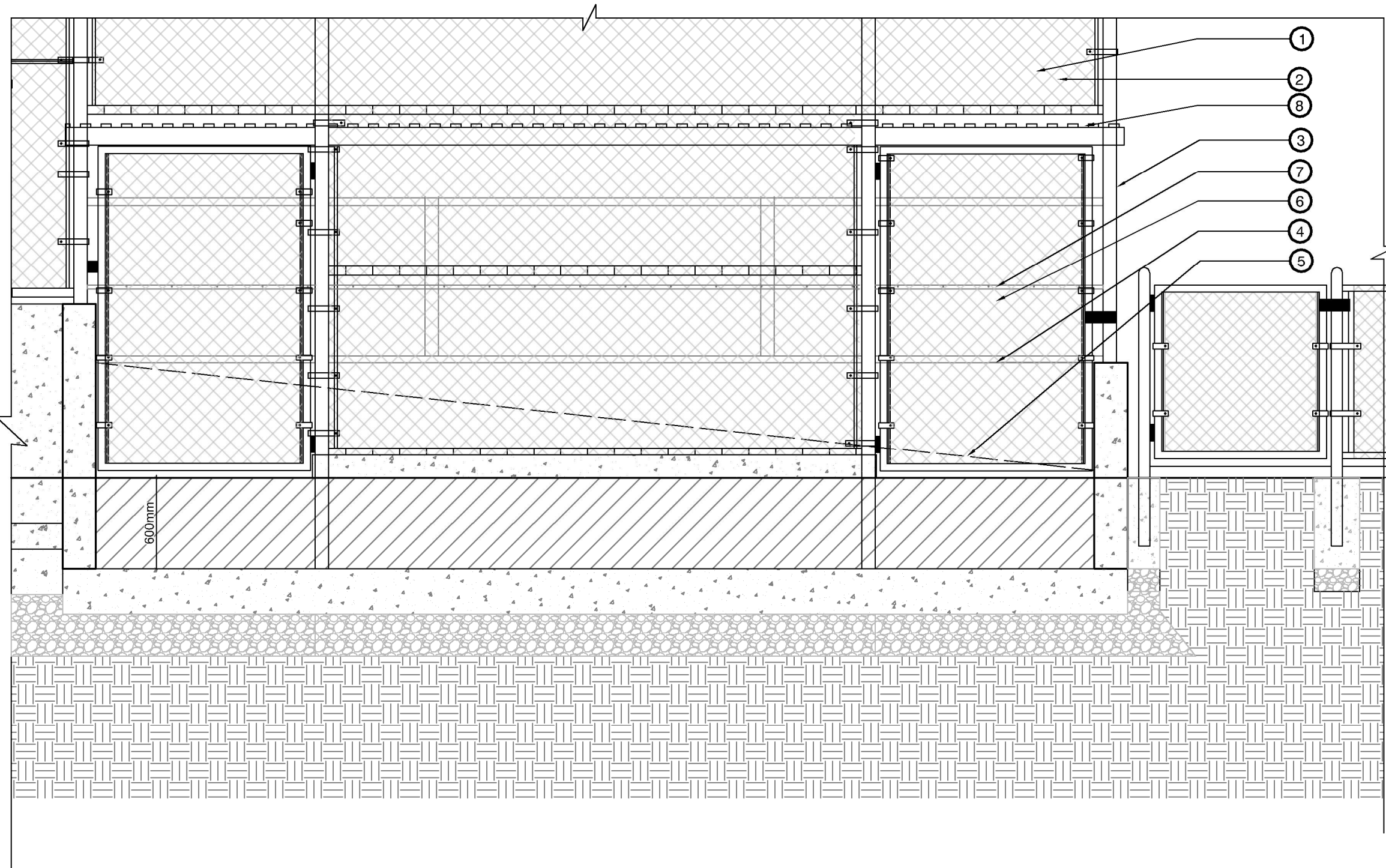
Drawn: RMK HK	Stamp:
Checked: AM	PP No.: 1001970
Approved: DJ	Original Sheet Size: 24"x36"

CONTRACTOR SHALL CHECK ALL
DIMENSIONS ON THE WORK AND REPORT
ANY DISCREPANCY TO THE CONSULTANT
BEFORE PROCEEDING. ALL DRAWINGS
AND SPECIFICATIONS ARE THE EXCLUSIVE
PROPERTY OF THE OWNER AND MUST BE
RETURNED AT THE COMPLETION OF THE
WORK. ALL REVISIONS TO DRAWINGS
DRAWINGS MUST NOT BE PRICED FOR
CONSTRUCTION UNLESS LABELED ISSUED
FOR TENDER/CONSTRUCTION.

Drawing Title:
DETAILS

VDZ Project #:
PR2024-20

Drawing #:
LD-06

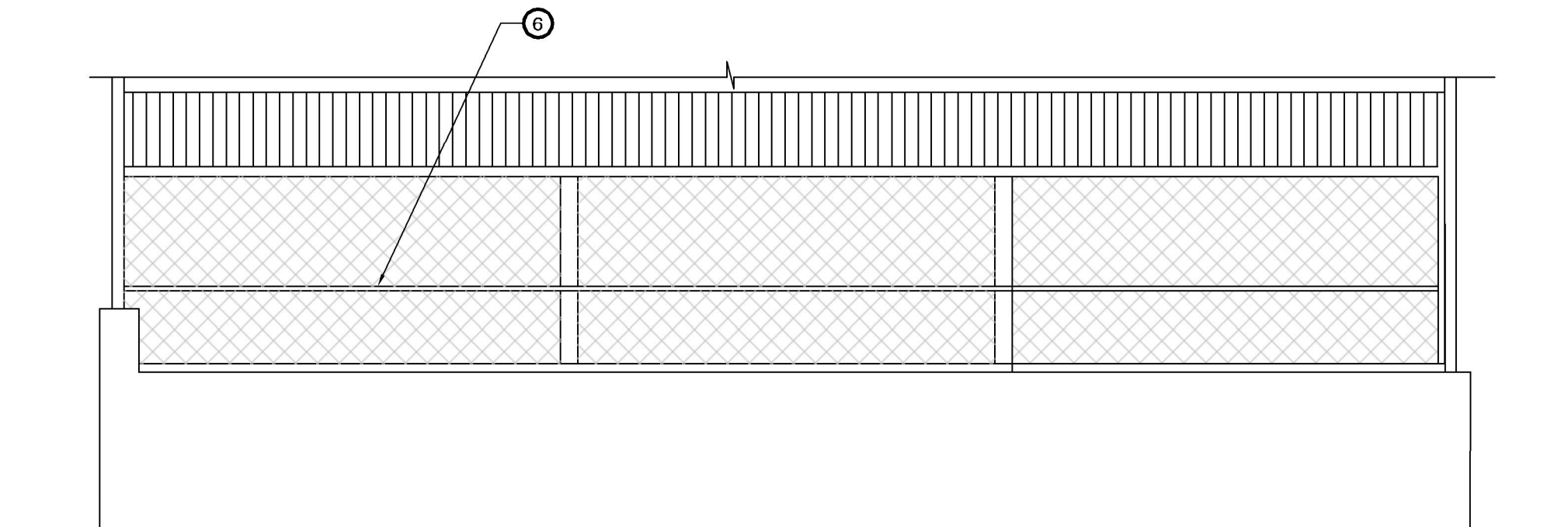
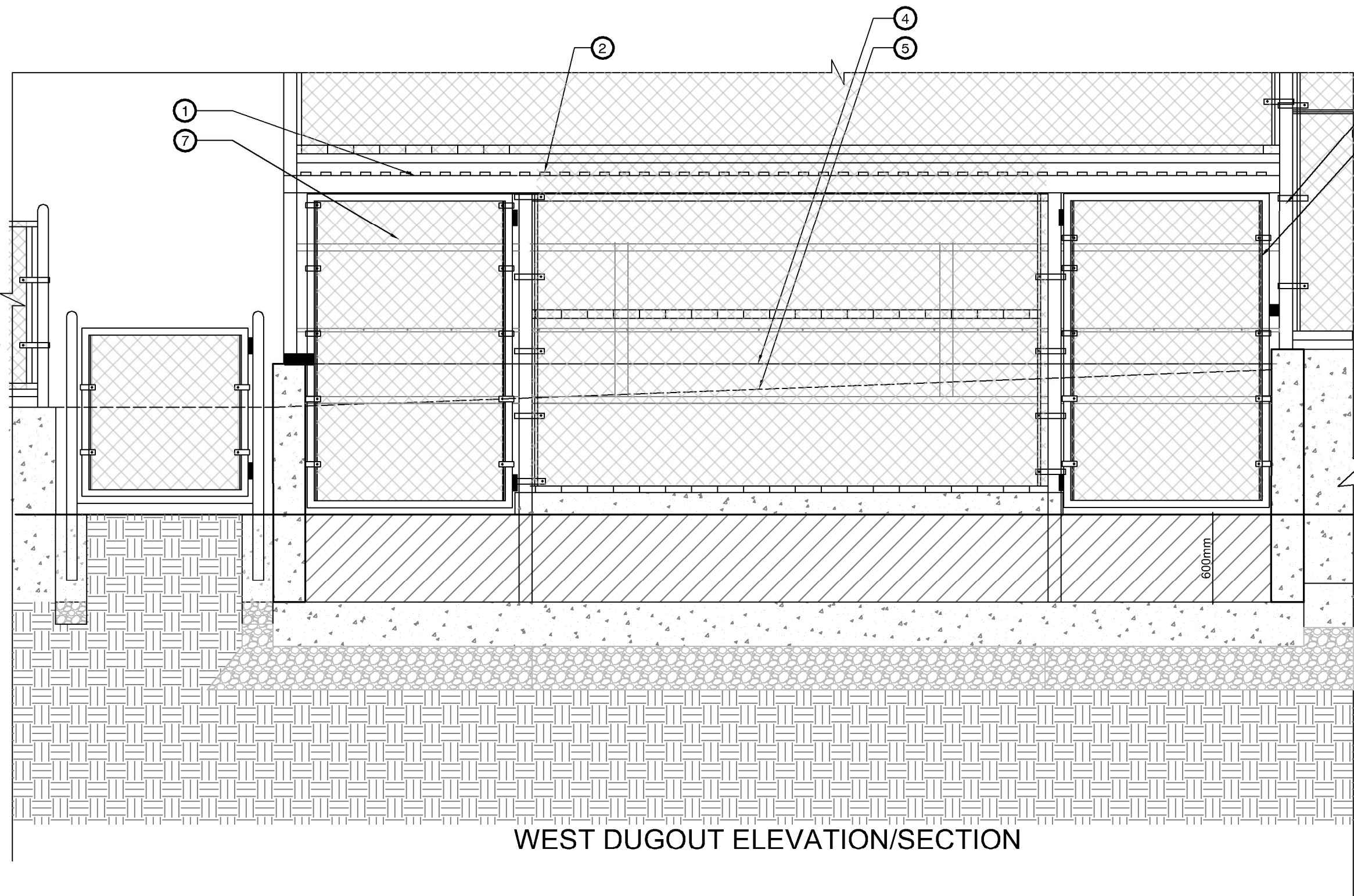


EAST DUGOUT ELEVATION/SECTION

- 1 Align roof with 2 x 2.4m width chainlink panels
- 2 Corrugated aluminum roofing
- 3 Metal pipe and chainlink back and sides of dugout
- 4 Concrete structure
- 5 Adjacent grade varies 9.11 at north end, 8.51 at south end. see survey and civil plans
- 6 Chain link panels with frame in elevation
- 7 Metal strip with hooks
- 8 1400x2200 mm size gate with lockable latch

1 EAST DUGOUT ELEVATION/SECTION

1:30



WEST DUGOUT ELEVATION/SECTION

- 1 Align roof with 2 x 2.4m width chainlink panels
- 2 Corrugated aluminum roofing
- 3 Metal pipe and chainlink back and sides of dugout
- 4 Concrete structure
- 5 Adjacent grade varies 9.18 at north end, 9.12 at south end. see survey and civil plans
- 6 Metal strip with hooks
- 7 1400x2200 mm size gate with lockable latch

2 WEST DUGOUT ELEVATION/SECTION

1:30

NOT FOR CONSTRUCTION

No.	By:	Description	Date
8	AM	Issued for Tender	2025-02-10
7	AM	Issued for Coordination	2025-12-02
6	RMK	Issued for Coordination	2025-10-20
5	AM	Issued for Tender	2025-08-12
4	AM	Issued for Tender	2025-07-24
3	RMK	Issued for 90% Review	2025-04-20
2	RMK	Issued for 50% Review	2025-04-02
1	RMK	Issued for 25% Review	2025-02-07

REVISIONS TABLE FOR DRAWINGS
Copyright reserved. This drawing and design is the property of Vdz+A and may not be reproduced or used for other projects without permission.

No.	By:	Description	Date
-----	-----	-------------	------

REVISIONS TABLE FOR SHEET

Project:
MACKIN YARD BALL DIAMOND
RENEWAL

Location:
1046 BRUNETTE AVENUE
COQUITLAM, B.C.

Drawn: RMK HK	Stamp:
Checked: AM	PP No.: 1001970
Approved: DJ	Original Sheet Size: 24"x36"

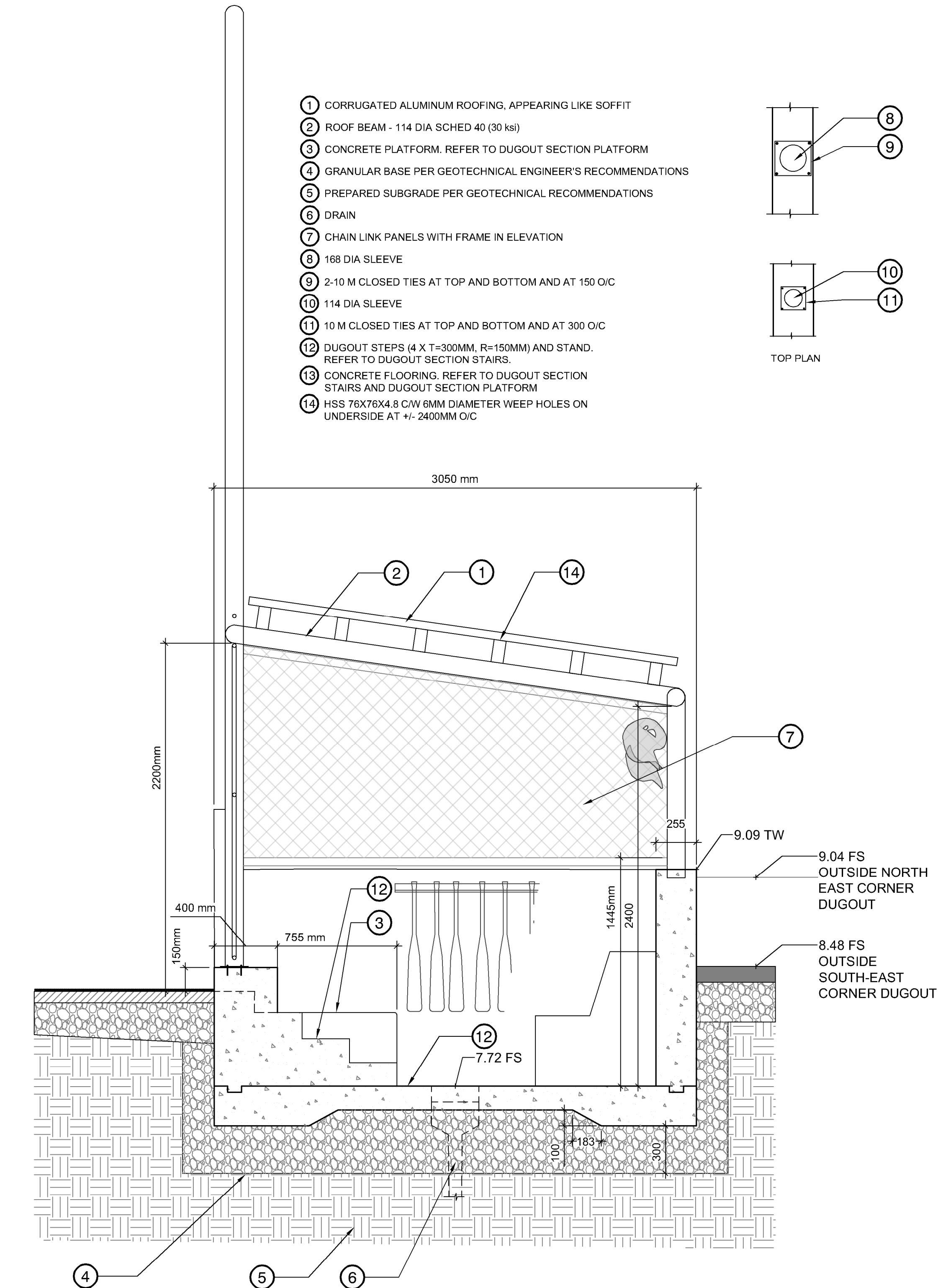
CONTRACTOR SHALL CHECK ALL
DIMENSIONS ON THE WORK AND REPORT
ANY DISCREPANCY TO THE CONSULTANT
BEFORE PROCEEDING. ALL DRAWINGS
AND SPECIFICATIONS ARE THE EXCLUSIVE
PROPERTY OF THE OWNER AND MUST BE
RETURNED AT THE COMPLETION OF THE
WORK. ALL REVISIONS TO DRAWINGS
DRAWINGS MUST NOT BE PRICED FOR
CONSTRUCTION UNLESS LABELED ISSUED
FOR TENDER/CONSTRUCTION.

Drawing Title:
DETAILS

VDZ Project #:
PR2024-20

Drawing #:
LD-07

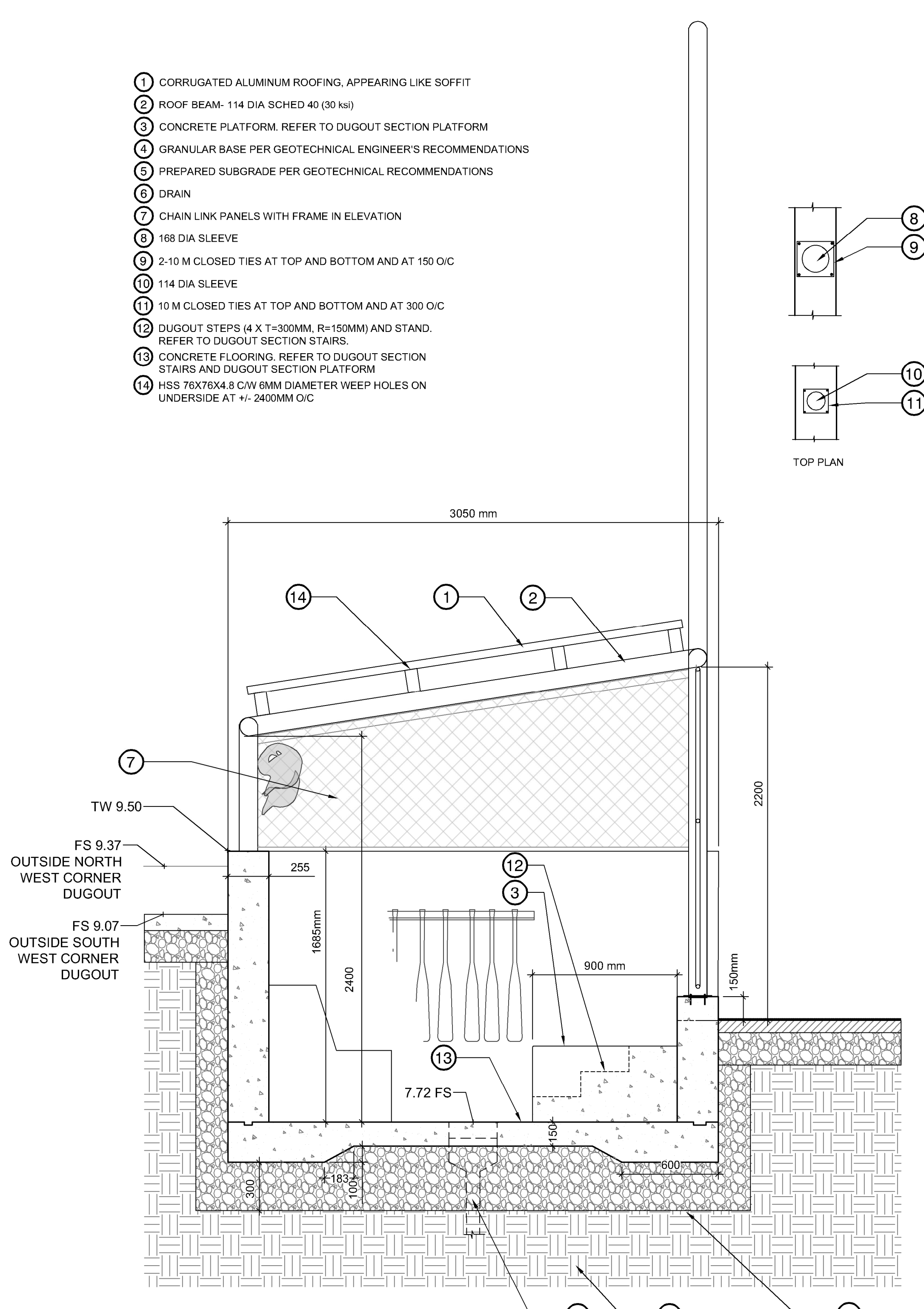
Z:\PROJECTS\SPARKS & RECREATION\ACTIVE\2024\PR2024-20 MACKIN PARK BALL FIELD.DWG, DWG SHEET (SLD) 08 DETAILS.DWG



1 EAST DUGOUT SECTION

1:20

P-PR202420-141



2 WEST DUGOUT SECTION

1:20

P-PR202420-140

NOT FOR CONSTRUCTION

No.	By:	Description	Date
8	AM	Issued for Tender	2025-02-10
7	AM	Issued for Coordination	2025-12-02
6	RMK	Issued for Coordination	2025-10-20
5	AM	Issued for Tender	2025-08-12
4	AM	Issued for Tender	2025-07-24
3	RMK	Issued for 90% Review	2025-04-20
2	RMK	Issued for 50% Review	2025-04-02
1	RMK	Issued for 25% Review	2025-02-07

REVISIONS TABLE FOR DRAWINGS
Copyright reserved. This drawing and design is the property of Vdz+A and may not be reproduced or used for other projects without permission.

No.	By:	Description	Date

No.	By:	Description	Date

Project:
MACKIN YARD BALL DIAMOND
RENEWAL

Location:
1046 BRUNETTE AVENUE
COQUITLAM, B.C.

Drawn: DRAWN1 DRAWN2	Stamp:
Checked: CHECKED	PP No.: 1001970
Approved: APPROVED	Original Sheet Size: 24"x36"

CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCY TO THE CONSULTANT BEFORE PROCEEDING. ALL DRAWINGS AND SHOWINGS ARE THE EXCLUSIVE PROPERTY OF THE OWNER AND MUST BE RETURNED AT THE COMPLETION OF THE WORK. ALL REVISIONS/CHANGES/ADDENDUMS MUST NOT BE PRICED FOR CONSTRUCTION UNLESS LABELED ISSUED FOR TENDER/CONSTRUCTION.

Drawing Title:
DETAILS

VDZ Project #:
PR2024-20

Drawing #:
LD-08A

NOT FOR CONSTRUCTION

8	AM	Issued for Tender	2025-02-10
7	AM	Issued for Coordination	2025-12-02
6	RMK	Issued for Coordination	2025-10-20
5	AM	Issued for Tender	2025-08-12
4	AM	Issued for Tender	2025-07-24
3	RMK	Issued for 90% Review	2025-04-20
2	RMK	Issued for 50% Review	2025-04-02
1	RMK	Issued for 25% Review	2025-02-07
No.	By:	Description	Date

REVISIONS TABLE FOR DRAWINGS

Copyright reserved. This drawing and design is the property of Vdz+A and may not be reproduced or used for other projects without permission.

No.	By:	Description	Date
-----	-----	-------------	------

REVISIONS TABLE FOR SHEET

Project:
MACKIN YARD BALL DIAMOND
RENEWAL

Location:
1046 BRUNETTE AVENUE
COQUITLAM, B.C.

Drawn: DRAWN1 DRAWN2	Stamp:
Checked: CHECKED	PP No.: 1001970
Approved: APPROVED	Original Sheet Size: 24"x36"

CONTRACTOR SHALL CHECK ALL
DIMENSIONS ON THE WORK AND REPORT
ANY DISCREPANCY TO THE CONSULTANT
OFFICE PRIOR TO THE COMPLETION OF THE
WORK. ALL REVISIONS TO THE DRAWINGS
MUST BE PRICED FOR CONSTRUCTION
UNLESS LABELED ISSUED
FOR TENDER/CONSTRUCTION.

- 1 HSS 76X76X4.8 C/W 6MM DIA WEEP HOLES ON UNDERSIDE @ ±2400 MM O/C
- 2 2-15M HORIZ AT TOP AND AT AT 450 O/C
- 3 15M DOWELS AT 300 O/C
- 4 GRANULAR BASE PER GEOTECHNICAL ENGINEER'S RECOMMENDATIONS
- 5 PREPARED SUBGRADE PER GEOTECHNICAL RECOMMENDATIONS
- 6 STEEL REINFORCING
- 7 DRAIN
- 8 168 DIA SLEEVE EMBEDDED IN THE CONCRETE WALL
- 9 CHAIN LINK PANELS WITH FRAME IN ELEVATION
- 10 DUGOUT STEPS (4 X T=300MM, R=150MM) AND STAND
- 11 CONCRETE FLOOR
- 12 PLASTSPAN HD RIGID FOAM OR APPROVED EQUAL
- 13 15M VERTS AT 300MM O/C ALIGNED WITH DOWELS
- 14 CLOSED TIES AT FENCE POSTS
- 15 10M AT 400 O/C EACH WAY
- 16 10M NOSING AT EACH TREAD
- 17 30x89 KEYWAY
- 18 INSTALL POST DIRECTLY INTO WALL, NO SLEEVE

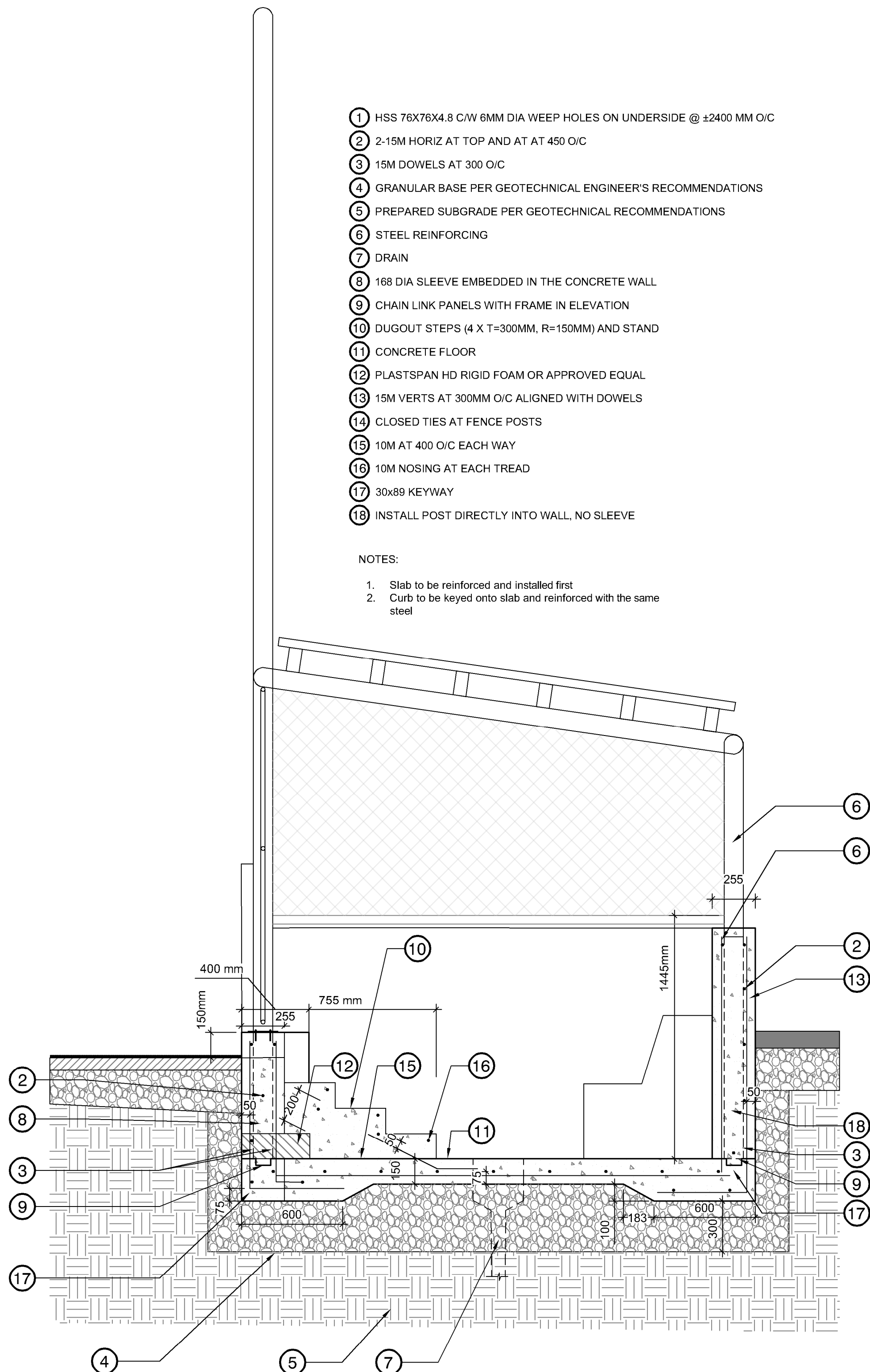
NOTES:

1. Slab to be reinforced and installed first
2. Curb to be keyed onto slab and reinforced with the same steel

- 1 HSS 76X76X4.8 C/W 6MM DIA WEEP HOLES ON UNDERSIDE @ ±2400 MM O/C
- 2 2-15M HORIZ AT TOP AND AT AT 450 O/C
- 3 15M DOWELS AT 300 O/C
- 4 GRANULAR BASE PER GEOTECHNICAL ENGINEER'S RECOMMENDATIONS
- 5 PREPARED SUBGRADE PER GEOTECHNICAL RECOMMENDATIONS
- 6 STEEL REINFORCING
- 7 DRAIN
- 8 168 DIA SLEEVE EMBEDDED IN THE CONCRETE WALL
- 9 CHAIN LINK PANELS WITH FRAME IN ELEVATION
- 10 CONCRETE PLATFORM
- 11 CONCRETE FLOOR
- 12 PLASTSPAN HD RIGID FOAM OR APPROVED EQUAL
- 13 15M VERTS AT 300MM O/C ALIGNED WITH DOWELS
- 14 CLOSED TIES AT FENCE POSTS
- 15 30x89 KEYWAY
- 16 INSTALL POST DIRECTLY INTO WALL, NO SLEEVE
- 17 10M DOWEL AT 400 O/C C/W BOTTOM HOOK 150

NOTES:

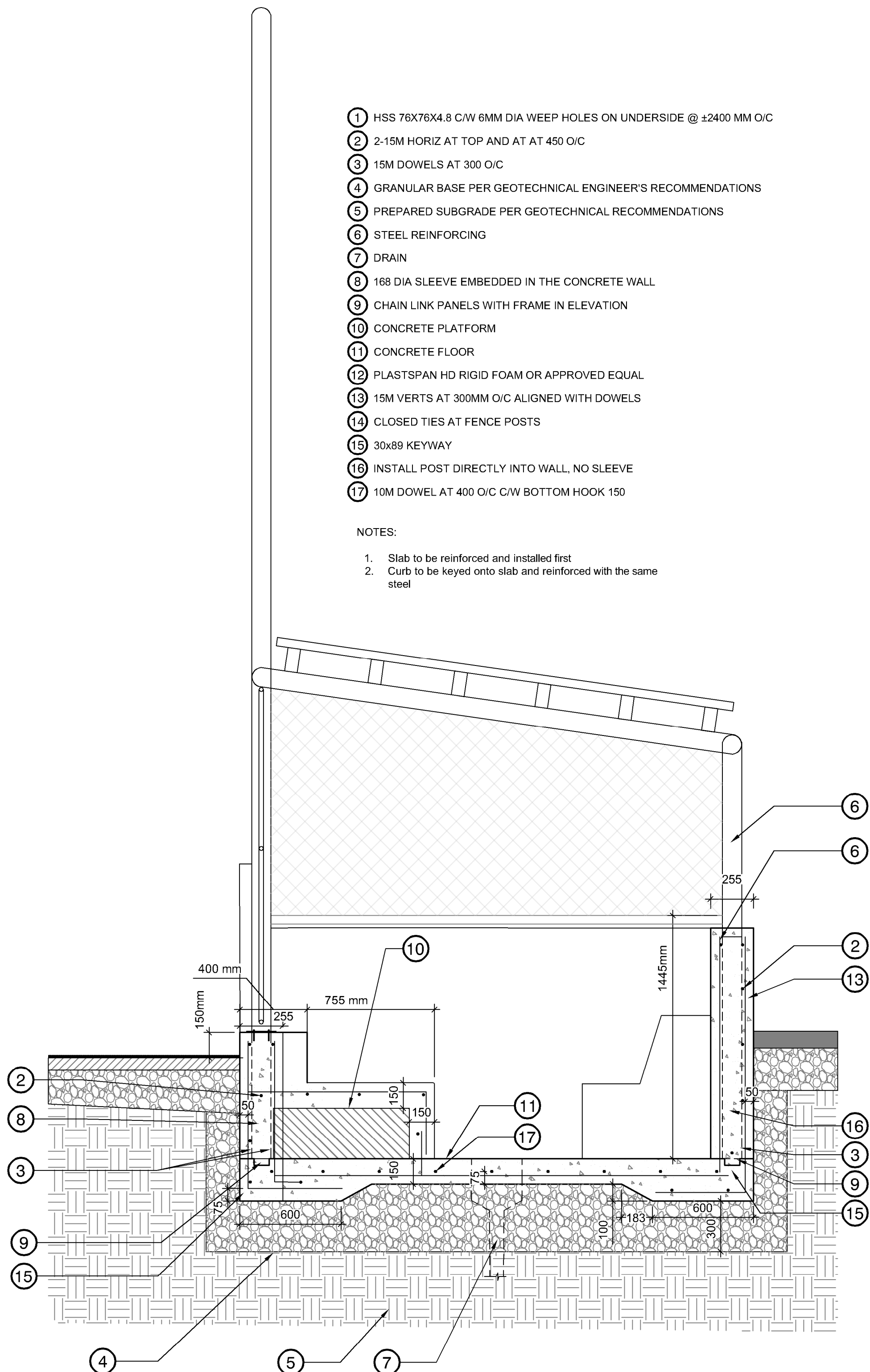
1. Slab to be reinforced and installed first
2. Curb to be keyed onto slab and reinforced with the same steel



1 DUGOUT SECTION STAIRS

1:20

P-PR202420-142



2 DUGOUT SECTION PLATFORM

1:20

P-PR202420-143

Drawing Title:
DETAILSVDZ Project #:
PR2024-20Drawing #:
LD-08B

Key Map (NTS)

NOT FOR CONSTRUCTION

No.	By:	Description	Date
8	AM	Issued for Tender	2025-02-10
7	AM	Issued for Coordination	2025-12-02
6	RMK	Issued for Coordination	2025-10-20
5	AM	Issued for Tender	2025-08-12
4	AM	Issued for Tender	2025-07-24
3	RMK	Issued for 90% Review	2025-04-20
2	RMK	Issued for 50% Review	2025-04-02
1	RMK	Issued for 25% Review	2025-02-07

REVISIONS TABLE FOR DRAWINGS
Copyright reserved. This drawing and design is the property of V&A and may not be reproduced or used for other projects without permission.

No.	By:	Description	Date
8	AM	Issued for Tender	2025-02-10
7	AM	Issued for Coordination	2025-12-02
6	RMK	Issued for Coordination	2025-10-20
5	AM	Issued for Tender	2025-08-12
4	AM	Issued for Tender	2025-07-24
3	RMK	Issued for 90% Review	2025-04-20
2	RMK	Issued for 50% Review	2025-04-02
1	RMK	Issued for 25% Review	2025-02-07

Project:
MACKIN YARD BALL DIAMOND
RENEWAL

Location:
1046 BRUNETTE AVENUE
COQUITLAM, B.C.

Drawn: RMK	Stamp:
Checked: AM	PP No.: 1001970
Approved: MVDZ	Original Sheet Size: 24"x36"

CONTRACTOR SHALL CHECK ALL
DIMENSIONS ON THE WORK AND REPORT
ANY DISCREPANCY TO THE CONSULTANT
BEFORE PROCEEDING. ALL DRAWINGS
AND SPECIFICATIONS ARE THE EXCLUSIVE
PROPERTY OF THE OWNER AND MUST BE
RETURNED AT THE COMPLETION OF THE
WORK. ALL REVISIONS TO DRAWINGS
DRAWINGS MUST NOT BE PRICED FOR
CONSTRUCTION UNLESS LABELED ISSUED
FOR TENDER/CONSTRUCTION.

- EXISTING CONCRETE PAVING
- BENCH
- PLATFORM
- STAIRS
- RETAINING WALL WITH BACKSTOP FENCE
- DRAIN

Post/Rail Size:
A 114 Ø
B 141 Ø (50 Ksi)
C 114 Ø Sched 40 (30 Ksi), typ. beams

1 EAST DUGOUT - PLAN VIEW

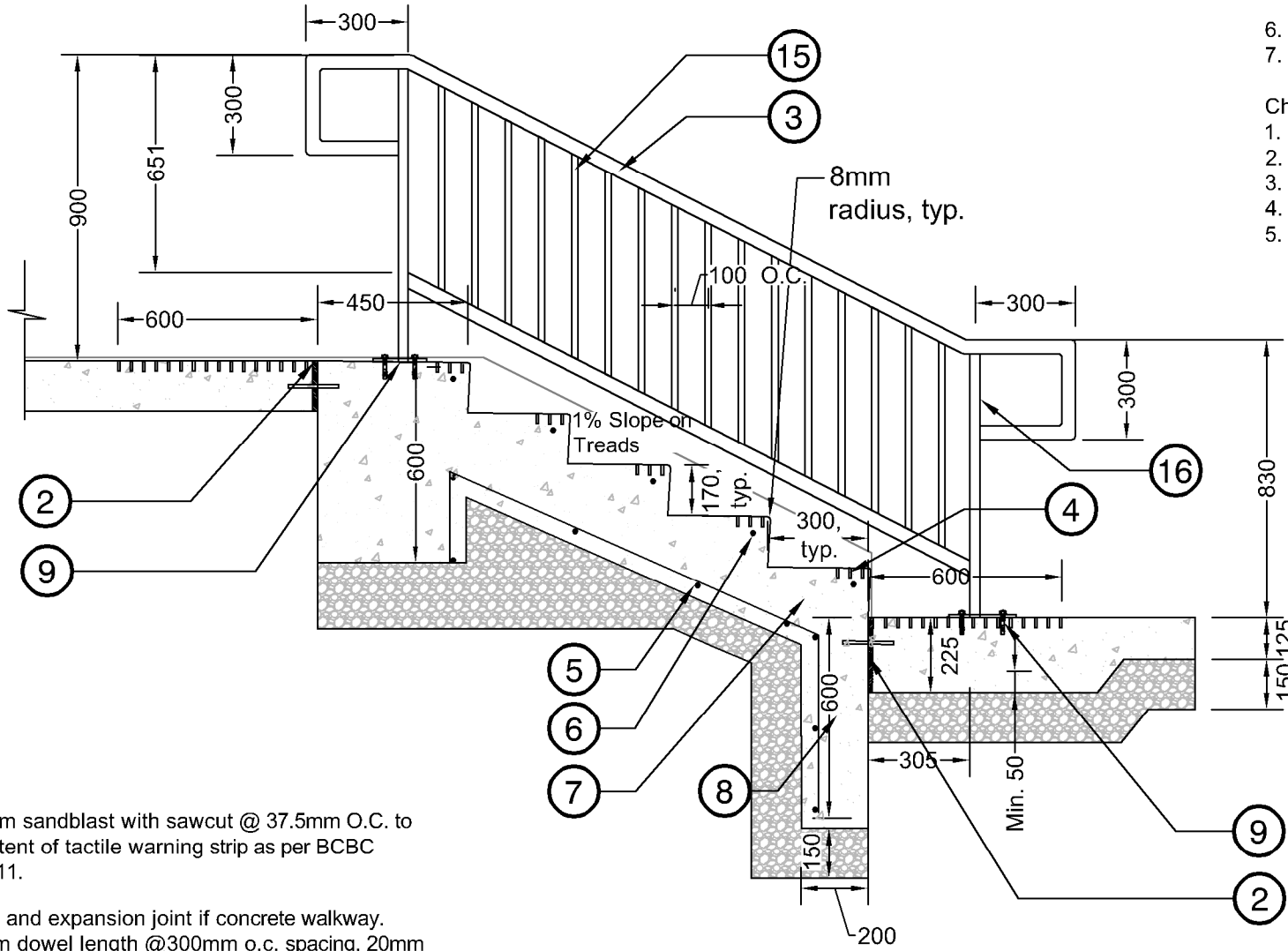
1:20

- EXISTING CONCRETE PAVING
- BENCH
- PLATFORM
- STAIRS
- FIELD OF PLAY
- DRAIN

Post/Rail Size:
A 114 Ø
B 141 Ø (50 Ksi)
C 114 Ø Sched 40 (30 Ksi), typ. beams

2 WEST DUGOUT - PLAN VIEW

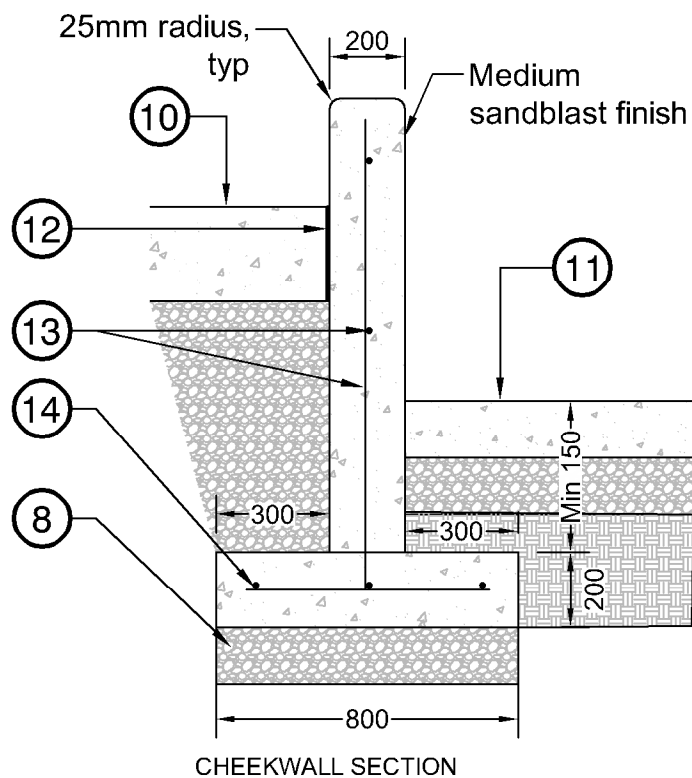
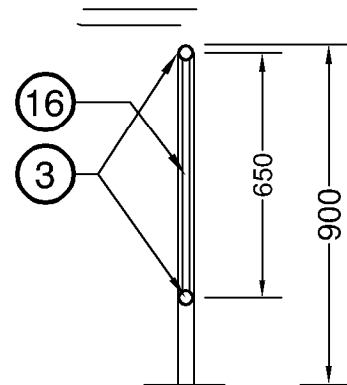
1:20



- 1 Medium sandblast with sawcut @ 37.5mm O.C. to full extent of tactile warning strip as per BCBC 3.8.3.11.
- 2 Dowel and expansion joint if concrete walkway. 150mm dowel length @300mm o.c. spacing, 20mm fibrous expansion joint filler between concrete slabs
- 3 42mm OD HSS round
- 4 Typical tactile warning at stair nosing. Medium sandblast on each tread as per BCBC 3.8.3.11.
- 5 10M rebar @ 400mm o.c.
- 6 10M nosing rebar, 50mm clear all sides
- 7 10M rebar reinforcement, 50 mm clear from bottom
- 8 150mm min of 95% MPD compacted aggregate base course under concrete typ
- 9 Handrail, bolted to concrete
- 10 Indicative adjacent stair
- 11 Finish grade (slope away). Refer to plan for grades.
- 12 Deco Foam Expansion joint between wall and stair case. Caulk joint after cap removal.
- 13 10M rebar spaced 450mm o.c. vertical and horizontal. Ensure minimum coverage of 50mm
- 14 10M rebar spaced 300mm o.c. both ways. Ensure minimum coverage of 50mm
- 15 Aluminum picket, 19mm OD, spaced 100mm O.C.
- 16 Aluminum Guardrail post, placed on both ends to have 225mm offset from start of cap

- Notes:
- Steps to have broom finish.
 - Expansion joints required at side of steps when constructed adjacent to cheek walls. Seal expansion joints with a compatible joint sealing compound to prevent moisture infiltration.
 - Refer to Geo-Technical report for concrete subbase requirements.
 - Handrail to be power coated black (RAL 9005) in a controlled environment. No on-site welding or painting.
 - Contractor to submit shop drawings for Landscape Architect and Park Planning to review prior to construction.
 - All bends to be smooth circular curves with no pipe crimping.
 - Plug all vent holes ad re-finish black.

- Cheek Wall Notes:
- This detail applies to concrete walls under 1.2m
 - Refer to Geo-Technical report for concrete subbase requirements.
 - Drainage to be coordinated with Civil Engineer.
 - Growing medium to be 25mm below top of edger wall.
 - Footing depth varies - deeper footing at base and top of stairs to coordinate with staircase footing depth. Min 150mm depth for adequate adjacent soil for sod.

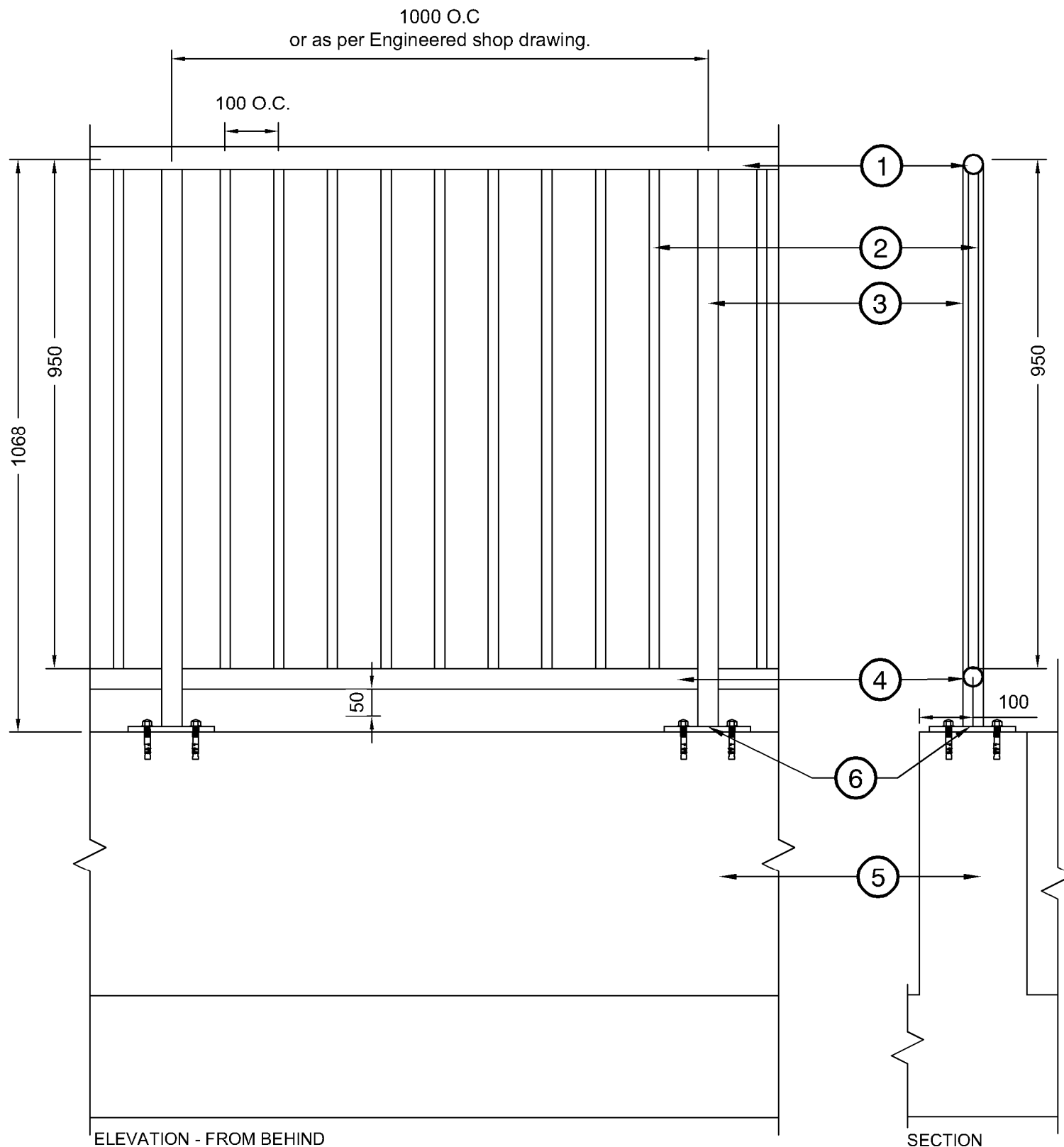


1 CONCRETE STAIRS AND HANDRAIL

1:20

2 ALUMINUM FENCE/GUARDRAIL

1:10

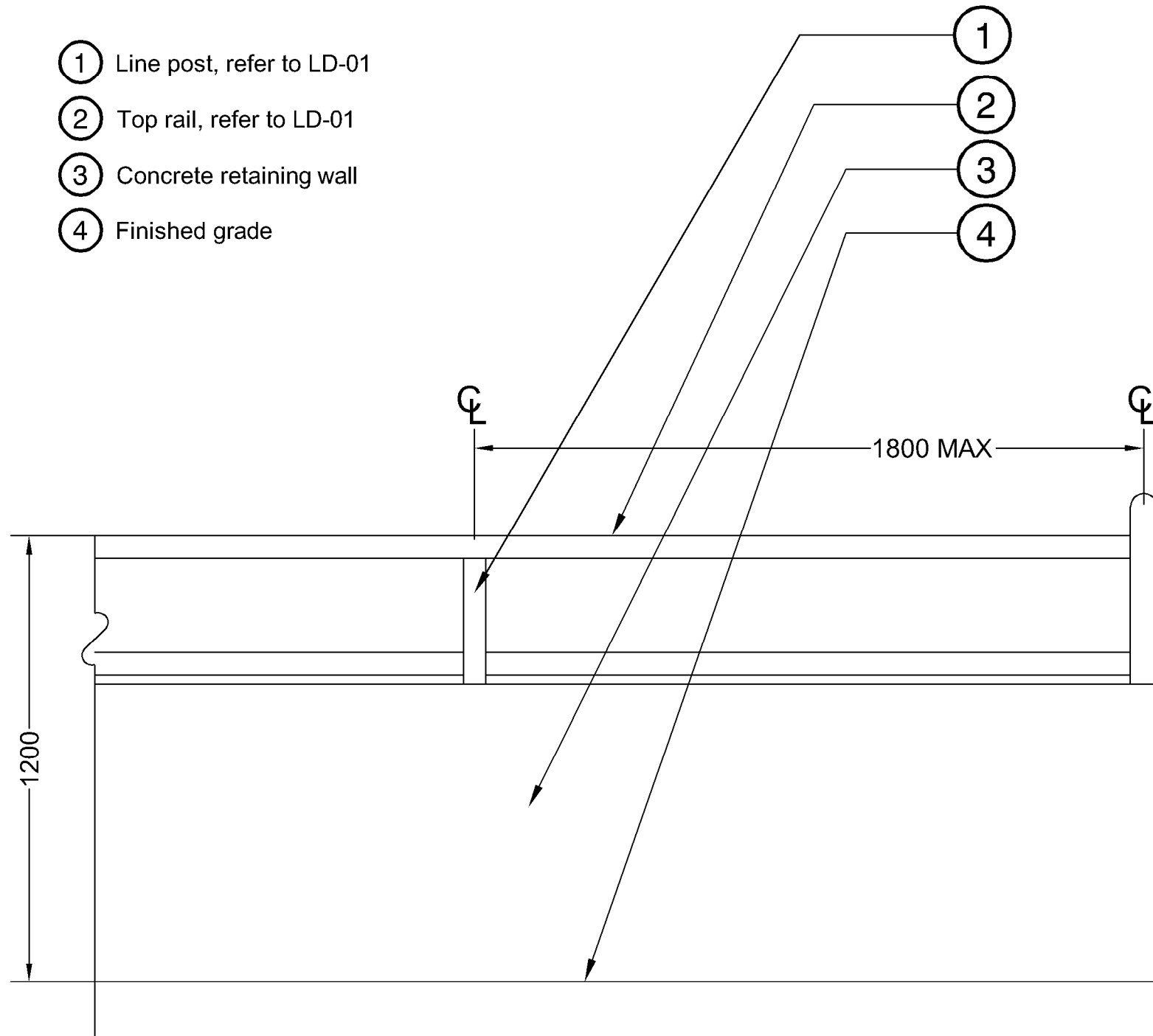


- 1 42mm OD HSS round above
- 2 Aluminum picket, 19mm OD, spaced 100mm O.C.
- 3 Aluminum handrail post spaced 1000 mm O.D.
- 4 42mm OD HSS round below
- 5 Wall
- 6 Aluminum handrail post bolted to concrete

- Note:
- Contractor to provide shop drawings.
 - Ensure all fasteners exposed to weather are hot-dipped galvanized to prevent staining.
 - All exposed aluminum to be powder coated Black with satin finish.
 - When on modular block wall. Contractor to provide integrated engineered solution including required guardrail and wall reinforcement.
 - When in grade to be fastened to 300mm diameter by 450mm depth footing.

NOT FOR CONSTRUCTION

- 1 Line post, refer to LD-01
- 2 Top rail, refer to LD-01
- 3 Concrete retaining wall
- 4 Finished grade



3 RAILING ON CONCRETE RETAINING WALL

1:15

REVISIONS TABLE FOR DRAWINGS

Copyright reserved. This drawing and design is the property of VDZ+A and may not be reproduced or used for other projects without permission.

REVISIONS TABLE FOR SHEET

Project:
MACKIN YARD BALL DIAMOND
RENEWAL

Location:
1046 BRUNETTE AVENUE
COQUITLAM, B.C.

Drawn: RMK HK	Stamp:
Checked: AM	PP No.: 1001970
Approved: DJ	Original Sheet Size: 24"x36"

CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCY TO THE CONSULTANT BEFORE PROCEEDING. ALL DRAWINGS AND SPECIFICATIONS ARE THE EXCLUSIVE PROPERTY OF THE OWNER AND MUST BE RETURNED AT THE COMPLETION OF THE WORK. ALL REWORKING/REVISIONS/REWORKS MUST NOT BE PRICED FOR CONSTRUCTION UNLESS LABELED ISSUED FOR TENDER/CONSTRUCTION.

Drawing Title:
DETAILS

VDZ Project #:
PR2024-20

Drawing #:
LD-10

Mackin Park Ballfields - Civil Engineering Drawings

Issued for Tender



Location Map (NTS)

Contact Information

VDZ+A

Project Civil Engineering

Fort Langley Studio
102 - 9181 Church Street
Fort Langley, British Columbia, V1M 2R8

Mount Pleasant Studio
102-355 Kingsway
Vancouver, British Columbia, V5T 3J7

Primary project contact:
Taylor Webber
twebber@vdz.ca
o. 604 546 0930

Alternate contacts (incase away):
Aaron Berghoffer
aaron@vdz.ca
o. 604 416 5073

Contact Information

City of Coquitlam

Project Owner

Ian Tom
3000 Guildford Way
Coquitlam, British Columbia V3B 7N2
o. 604 218 2500
itom@coquitlam.ca

Legal Address and Description:

Lot 17 District Lots 45, 46 and 48 Group
1 NWD Plan 63676

Sheet List Table

Sheet Number	Sheet Title
CV-00	COVER SHEET
CV-01	KEY PLAN
CV-02	EXISTING CONDITIONS
CV-03	GRADING PLAN
CV-04	DRAINAGE PLAN
CD-01	CIVIL DETAILS
CN-01	CIVIL NOTES
ESC-01A	ESC PLAN PHASE 1
ESC-01B	ESC PLAN PHASE 2
ESC-01C	ESC PLAN PHASE 3
ESC-02	ESC DETAILS
ESC-03	ESC NOTES

VDZ+A
LANDSCAPE ARCHITECTURE | CIVIL ENGINEERING | URBAN FORESTRY
FORT LANGLEY STUDIO | MOUNT PLEASANT STUDIO
100-9181 Church St 102-355 Kingsway
Fort Langley, BC Vancouver, BC
V1M 2R8 V5T 3J7
www.vdz.ca 604-882-0024

NOT FOR CONSTRUCTION

7	TW	Issued for Tender	Feb. 02, 2026
6	TW	Issued for Tender	Jan. 19, 2026
5	TW	Issued for Tender	Dec. 03, 2025
4	TW	Issued for Tender	Jul. 28, 2025
3	TW	Issued for 90% CD	Jun. 19, 2025
2	TW	Issued for 50% CD	Apr. 02, 2025
1	TW	Issued for 25% CD	Feb. 7, 2025
No.	By:	Description	Date

REVISIONS TABLE FOR DRAWINGS
© Copyright reserved. This drawing and design is the property of VDZ+A and may not be reproduced or used for other projects without permission.

No.	By:	Description	Date
-----	-----	-------------	------

REVISIONS TABLE FOR SHEET

Project:
MACKIN PARK BALLFIELDS

Location:
1046 BRUNETTE AVENUE
COQUITLAM, B.C.

Drawn: AB	Stamp: PP No.: 1001970 PP No.: 1001970
Checked: TW	
Approved: TW	Original Sheet Size: 24"x36"
Scale: NTS	CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCY TO THE CONSULTANT BEFORE PROCEEDING ALL DRAWINGS AND SPECIFICATIONS ARE THE EXCLUSIVE PROPERTY OF THE OWNER AND MUST BE RETURNED AT THE COMPLETION OF THE WORK. ALL REZONING OR PP/AP/AP-AP DRAWINGS MUST NOT BE PRICED FOR CONSTRUCTION UNLESS LABELED ISSUED FOR TENDER/CONSTRUCTION.

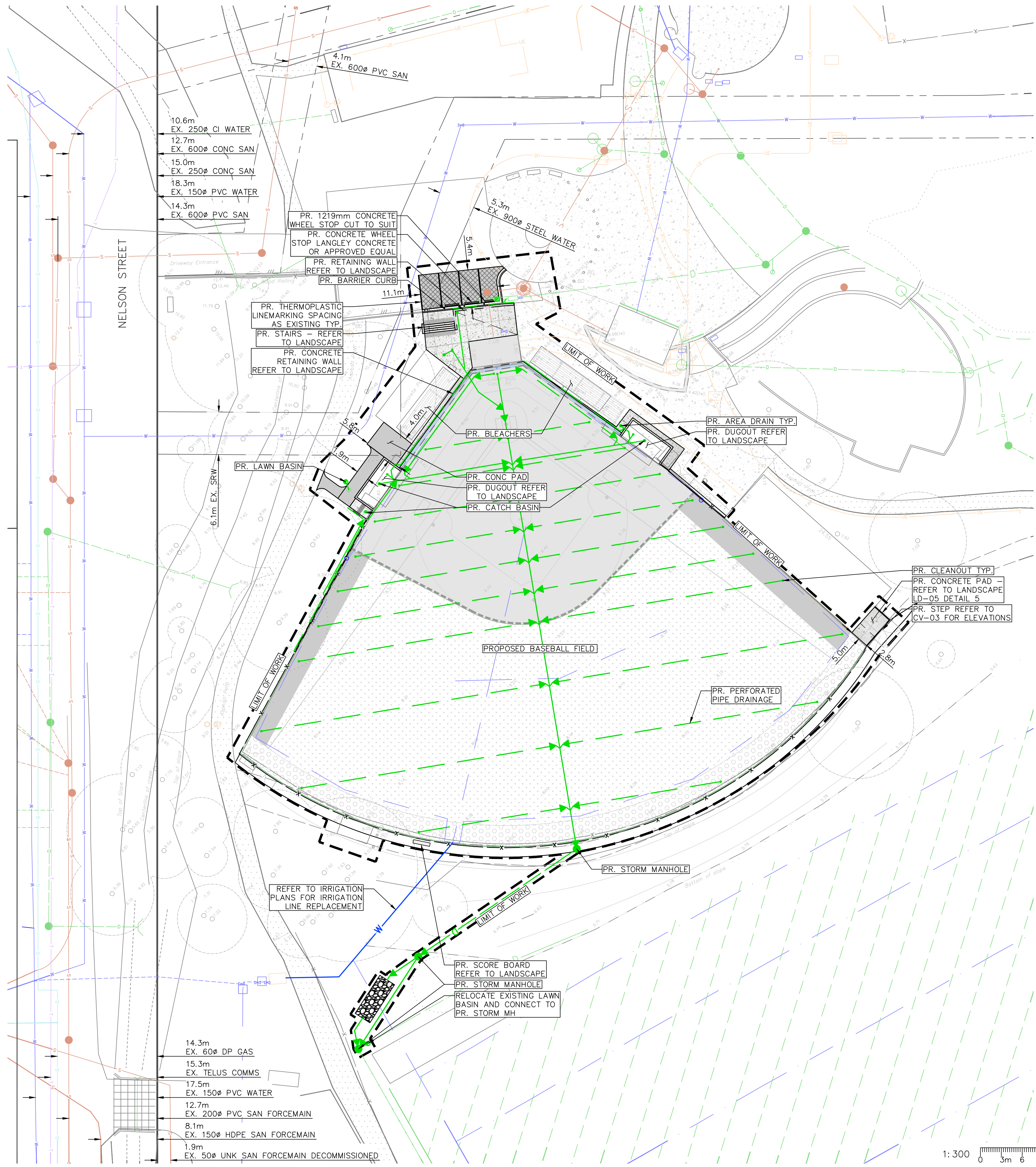
Drawing Title:
COVER SHEET



VDZ Project #:
PR2024-20

Drawing #:
CV-00

Z:\PROJECTS\PARKS & RECREATION\ACTIVE\2024\PR2024-20 MACKIN PARK BALLFIELDS.DWG\SHEETS\CIVIL SHEETS\CV-01 KEY PLAN.DWG



LEGEND		
EXISTING	PROPOSED	DESCRIPTION
		SANITARY SEWER
		STORM SEWER
		CATCH BASIN - SIDE INLET
		CATCH BASIN - TOP INLET
		LAWN BASIN
		DITCH/WATERCOURSE
		CULVERT
		FINISHED GROUND ELEVATION
		EXISTING GROUND ELEVATION
		RIM ELEVATION
		TOP OF WALL ELEVATION
		BOTTOM OF WALL ELEVATION
		TOP OF STAIRS ELEVATION
		BOTTOM OF STAIRS ELEVATION
		WATER MAIN
		WATER VALVE
		HYDRANT
		PRESSURE REDUCING VALVE
		CURB & GUTTER
		SIDEWALK
		FENCE LINES
		WHEELCHAIR LETDOWN
		UNDERGROUND ELECTRICAL
		GAS MAIN
		COMMUNICATIONS
		UTILITY POLE
		OVERHEAD HYDRO/TEL
		ASPHALT
		ASPHALT RESTORATION AS PER MMCD G5
		BOULEVARD
		CONTOUR
		STREETLIGHT

SRW'S WERE NOT SURVEYED IN THEIR ENTIRETY AND AS SUCH THEIR LOCATIONS ARE NOT ACCURATE

CONTRACTOR TO TEST PIT IN ORDER TO CONFIRM ALL LOCATIONS, DEPTHS, AND TYPE OF SERVICE PRIOR TO ORDERING MATERIALS.

CONTRACTOR TO CONTACT TELUS, BC HYDRO, FORTISBC, AND BC ONE CALL PRIOR TO CONSTRUCTION TO CONFIRM LOCATIONS OF UTILITIES AND APPURTENANCES REQUIRING ADJUSTMENT

NOT FOR CONSTRUCTION

No.	By:	Description	Date
7	TW	Issued for Tender	Feb. 02, 2026
6	TW	Issued for Tender	Jan. 19, 2026
5	TW	Issued for Tender	Dec. 03, 2025
4	TW	Issued for Tender	Jul. 28, 2025
3	TW	Issued for 90% CD	Jun. 19, 2025
2	TW	Issued for 50% CD	Apr. 02, 2025
1	TW	Issued for 25% CD	Feb. 7, 2025

REVISIONS TABLE FOR DRAWINGS
© Copyright reserved. This drawing and design is the property of Vdz+A and may not be reproduced or used for other projects without permission.

No.	By:	Description	Date

REVISIONS TABLE FOR SHEET

Project:
MACKIN PARK BALLFIELDS

Location:
1046 BRUNETTE AVENUE
COQUITLAM, B.C.

Drawn: AB	Stamp:
Checked: TW	PP No.: 1001970
Approved: TW	Original Sheet Size: 24"x36"
Scale: 1:300	CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCY TO THE CONSULTANT BEFORE PROCEEDING. ALL DRAWINGS AND SPECIFICATIONS ARE THE EXCLUSIVE PROPERTY OF THE OWNER AND MUST BE RETURNED AT THE COMPLETION OF THE WORK. ALL REVISIONS/CHANGES/APPROPRIATE DRAWINGS MUST NOT BE PERMITTED FOR CONSTRUCTION UNLESS LABELED ISSUED FOR TENDER/CONSTRUCTION.

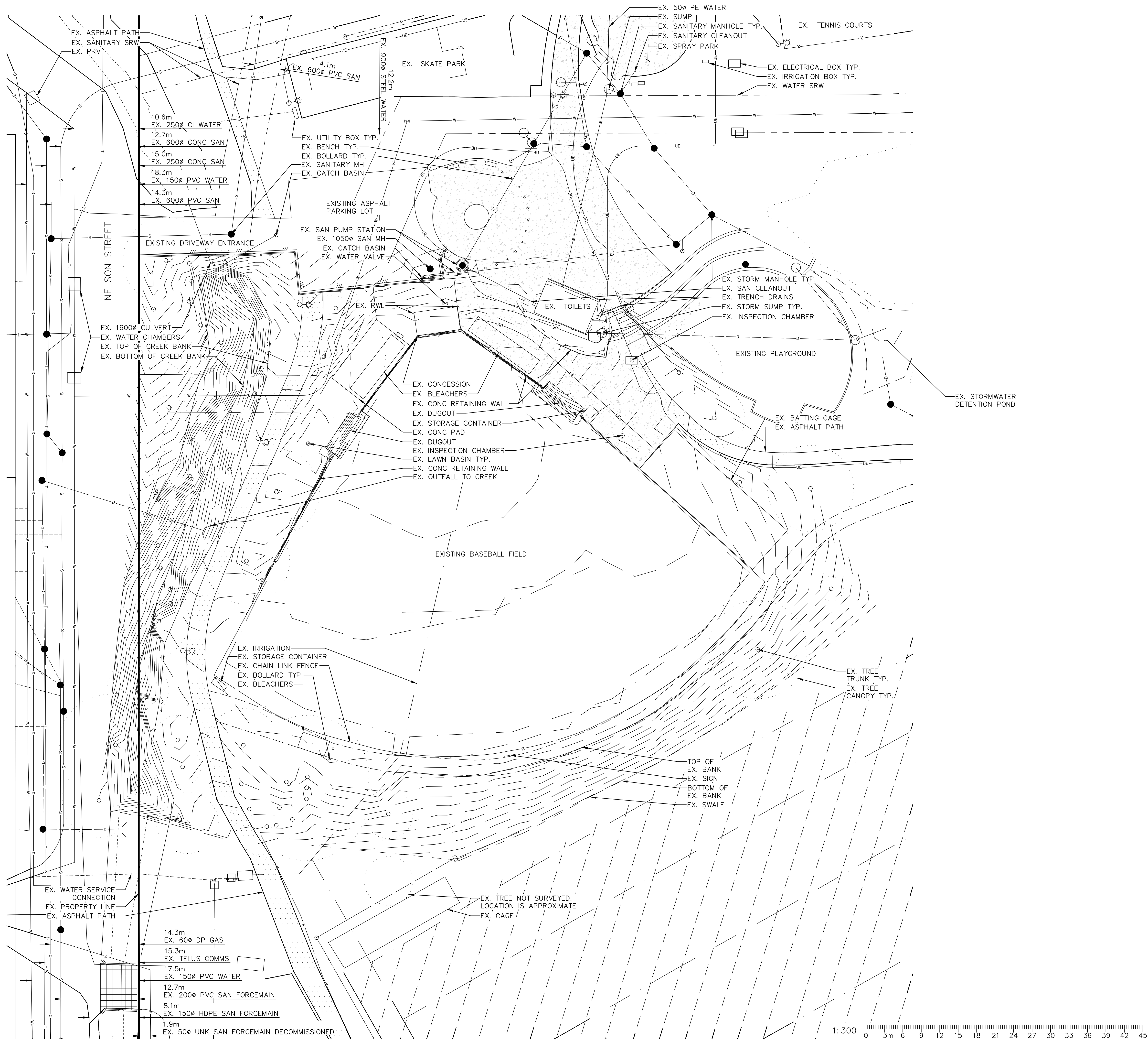
Drawing Title:
KEY PLAN



Drawing Project #:
PR2024-20

Drawing #:
CV-01

Z:\PROJECTS\PARKS & RECREATION\ACTIVE\2024\PR2024-20 MACKIN PARK BALLFIELDS.DWG\SHEETS\CIVIL SHEETS\CV-02 EXISTING CONDITIONS.DWG



NOT FOR CONSTRUCTION

7	TW	Issued for Tender	Feb. 02, 2026
6	TW	Issued for Tender	Jan. 19, 2026
5	TW	Issued for Tender	Dec. 03, 2025
4	TW	Issued for Tender	Jul. 28, 2025
3	TW	Issued for 90% CD	Jun. 19, 2025
2	TW	Issued for 50% CD	Apr. 02, 2025
1	TW	Issued for 25% CD	Feb. 7, 2025
No.	By:	Description	Date

REVISIONS TABLE FOR DRAWINGS
© Copyright reserved. This drawing and design is the property of VDZ+A and may not be reproduced or used for other projects without permission.

1	AB	Issued for Review	Nov 13, 2024
No.	By:	Description	Date

REVISIONS TABLE FOR SHEET

Project:
MACKIN PARK BALLFIELDS

Location:
1046 BRUNETTE AVENUE
COQUITLAM, B.C.

Drawn:
AB

Stamp:
PP No.: 1001970
PP No.: 1001970

Checked:
TW

Approved:
TW

Scale:
1:300

Original Sheet Size:
24"x36"
CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCY TO THE CONSULTANT BEFORE PROCEEDING. ALL DRAWINGS AND SPECIFICATIONS ARE THE EXCLUSIVE PROPERTY OF THE OWNER AND MUST BE RETURNED AT THE COMPLETION OF THE WORK. ALL REVISIONS/ERRATA/APPENDICES MUST NOT BE FOR CONSTRUCTION UNLESS LABELED ISSUED FOR TENDER/CONSTRUCTION.

SRW'S WERE NOT SURVEYED IN THEIR ENTIRETY AND AS SUCH THEIR LOCATIONS ARE NOT ACCURATE

CONTRACTOR TO TEST PIT IN ORDER TO CONFIRM ALL LOCATIONS, DEPTHS, AND TYPE OF SERVICE PRIOR TO ORDERING MATERIALS.

CONTRACTOR TO CONTACT TELUS, BC HYDRO, FORTISBC, AND BC ONE CALL PRIOR TO CONSTRUCTION TO CONFIRM LOCATIONS OF UTILITIES AND APPURTENANCES REQUIRING ADJUSTMENT

Drawing Title:

EXISTING CONDITIONS

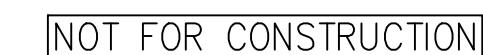
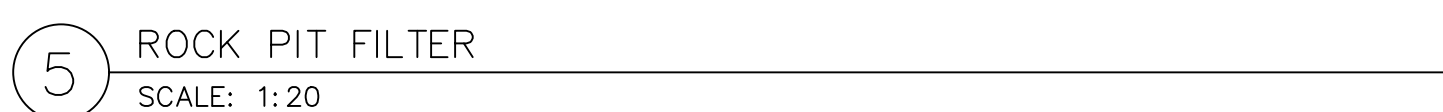
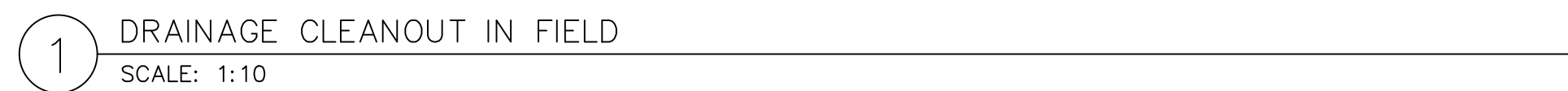
Drawing #:

PR2024-20

Drawing #:

CV-02






REVISIONS TABLE FOR DRAWINGS

• Copyright reserved. This drawing and design is the property of VDZ+A and may not be reproduced or used for other projects without permission.

No.	By:	Description	Date
REVISIONS TABLE FOR SHEET			

Drawn: AB	Stamp: PP No. 1001970 
Checked: TW	PP No.: 1001970
Approved: TW	Original Sheet Size: 24"x36"
Scale: AS SHOWN	CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCY TO THE CONSULTANT BEFORE PROCEEDING ALL DRAWINGS AND SPECIFICATIONS ARE THE EXCLUSIVE PROPERTY OF THE OWNER AND MUST BE RETURNED AT THE COMPLETION OF THE WORK. ALL REVISIONS TO DRAWINGS AND DRAWINGS MUST NOT BE PRICED FOR CONSTRUCTION UNLESS LABELED ISSUED FOR TENDER/CONSTRUCTION.

Z:\PROJECTS\SPARKS & RECREATION\ACTIVE\2024\PR2024-20 MACKIN PARK BALL FIELDS.dwg5. DWG\$SHEET\$CIVIL SHEET\$NOTES PAGE.DWG

CIVIL CONSTRUCTION NOTES:

- 1.0 ALL WORK MUST BE IN ACCORDANCE WITH THE MASTER MUNICIPAL CONSTRUCTION DOCUMENT (SPECIFICATIONS) (LATEST EDITION), B.C. BUILDING CODE (2024), AND TO CITY OF COQUITLAM SPECIFICATIONS AND STANDARD DETAIL DRAWINGS AND THE CIVIL PROJECT SPECIFICATIONS LABELED MACKIN PARK BALLFIELD TECHNICAL SPECIFICATIONS
- 2.0 THE GENERAL CONTRACTOR SHALL NOTIFY THE PRIMARY PROJECT CONTACT PRIOR TO COMMENCING WORK TO ENSURE THE PROJECT TEAM HAS THE LATEST PLANS AND SPECIFICATIONS ISSUED FOR CONSTRUCTION. THE GENERAL CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR ISSUING PLANS AND SPECIFICATIONS TO ASSIGNED SUBCONTRACTORS. CIVIL PLANS PREPARED BY VAN DER ZALM AND ASSOCIATES WILL CONTAIN "ISSUED FOR CONSTRUCTION" WITHIN THE REVISIONS TABLE AND WILL INCLUDE PROPER SIGNATURE AND SEAL FROM THE PROJECT ENGINEER DATED THE SAME DATE MATCHING THE DATE LISTED WITHIN THE REVISIONS TABLE TO IDENTIFY CONSTRUCTION DRAWINGS.
- 3.0 THE CONTRACTOR IS CAUTIONED THAT THE SUBSURFACE UTILITY INFORMATION SHOWN ON THESE PLANS IS PRODUCED FROM A COMBINATION THAT MAY OR MAY NOT INCLUDE RECORD DRAWINGS, GIS DATA, SURVEY DATA, AND FIELD OBSERVATIONS. CONTRACTOR AND/OR SUBCONTRACTORS SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK THROUGH AN APPROPRIATE MEANS INCLUDING BY CONTACTING BC ONE CALL, FIELD VERIFYING, OR TEST PITTING. THE CONTRACTOR AND/OR SUBCONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES DUE TO FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UTILITIES (UNDERGROUND, AT SURFACE, AND OVERHEAD). SUBSURFACE UTILITY INFORMATION HAS NOT BEEN PROVIDED TO CSA STANDARD S250 DETAIL
- 4.0 IF THE CONTRACTOR ENCOUNTERS ANY UTILITY LINES WITHIN THE SITE INCLUDING DRAIN TILE OR IRRIGATION LINES, HE OR SHE SHALL NOTIFY THE ENGINEER WITH THE LOCATION, SIZE, INVERT AND DIRECTION OF THOSE UTILITY LINES. NO UTILITY LINE SHALL BE BACKFILLED OR ALTERED WITHOUT REVIEW, DISCUSSION AND WRITTEN APPROVAL FROM THE PRIMARY PROJECT CONTACT. THE CONTRACTOR SHALL BEAR RESPONSIBILITY FOR THE RELOCATION OF ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS AT NO ADDITIONAL COST TO THE OWNER..
- 5.0 THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES OR EXISTING FEATURES TO REMAIN DURING THE CONSTRUCTION PHASES OF THIS PROJECT. THE CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR ANY DAMAGES TO THE ADJACENT PROPERTIES OR EXISTING FEATURES TO REMAIN OCCURRING DURING THE CONSTRUCTION PHASES OF THIS PROJECT.
- 6.0 ACTIVITIES PROHIBITED OUTSIDE OF THE CONSTRUCTION BOUNDARIES WOULD INCLUDE, BUT NOT BE LIMITED TO: SOIL AND OTHER MATERIAL STOCKPILING, EQUIPMENT OR MACHINERY STORAGE, DRIVING OF ANY VEHICLE, LEAKAGE OR SPILLAGE OF ANY "WASHOUT" OR OTHER TOXIC MATERIAL. THE COLLECTION OF OTHER DEBRIS AND SOIL STOCKPILING WILL BE IN AN AREA DETERMINED ON-SITE BY THE ENGINEER.
- 7.0 ALL RESTRICTED AREAS SHALL BE FENCED OFF WITH BRIGHT ORANGE POLYETHYLENE SAFETY NETTING AND STEEL STAKES AS SHOWN ON THE TREE PROTECTION DETAIL. AT NO TIME SHALL THIS FENCING BE REMOVED OR ACTIVITY OF ANY KIND TAKE PLACE WITHIN IT. FINAL PLACEMENT OF ALL PROTECTIVE FENCING SHALL BE COMPLETE BEFORE ANY WORK COMMENCES ON-SITE.
- 8.0 ALL WATER AND SEWER UTILITY WORK WILL CONFORM TO THE BC BUILDING CODE, CITY OF COQUITLAM CONSTRUCTION STANDARDS AND THE LATEST EDITION OF THE MMCD. IF THERE IS A CONFLICT BETWEEN APPLICABLE STANDARDS, THE MORE STRINGENT STANDARD WILL GOVERN.
- 9.0 PRIOR TO PLACEMENT OF STRUCTURAL SOIL, SUBGRADE OR SOIL DRAINAGE MEDIUM, REFER TO GEOTECHNICAL SOIL RECOMMENDATIONS AND VERIFY PLACEMENT IS ACCEPTABLE TO THE PROJECT GEOTECHNICAL ENGINEER.
- 10.0 SUBSTITUTIONS OR DEVIATIONS FROM THE CIVIL PROJECT PLANS OR SPECIFICATIONS ARE NOT ALLOWED WITHOUT WRITTEN APPROVAL FROM THE PROJECT ENGINEER.
- 11.0 OPEN TRENCH OPERATIONS IN EXISTING PAVEMENT SHALL BE VERTICAL AND REPLACED WITH HOT MIX ASPHALT AFTER BACKFILL AND COMPACTION. ALL PAVEMENTS, BOULEVARD, ETC. ARE TO BE RESTORED TO ORIGINAL CONDITION WHERE NO IMPROVEMENTS ARE PROPOSED UNDER THIS CONTRACT.
- 12.0 THE CONTRACTOR SHALL USE EXTREME CARE WHEN WORKING NEAR EXISTING SERVICES AND ANY SERVICES DISTURBED ARE TO BE REPLACED TO THE SATISFACTION OF THE CITY OF COQUITLAM OR OTHER APPROVING AGENCIES.
- 13.0 ALL ONSITE SERVICES TO BE CONSTRUCTED IN ACCORDANCE WITH THE NATIONAL BUILDING CODE, THE B.C. BUILDING CODE (2024), MASTER MUNICIPAL SPECIFICATIONS (MMCD) AND PASS THE INSPECTION OF THE CITY OF COQUITLAM BUILDING DEPARTMENT, ALL WORKS CONSTRUCTED WITHIN THE EXISTING MUNICIPAL RIGHTS-OF-WAY TO CONFORM TO THE CITY OF COQUITLAM ENGINEERING DEPARTMENT STANDARDS AND SPECIFICATIONS AND BE CARRIED OUT UNDER THEIR INSPECTION. TIE INTO EXISTING SERVICES MUST BE CONFIRMED THROUGH THE CITY AND MUST PROVIDE 48 HOURS NOTICE OF START OF WORK.
- 14.0 THE CONTRACTOR SHALL ENSURE ALL APPROVALS REQUIRED FOR THE PROPOSED WORK HAVE BEEN OBTAINED PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. THE CONTRACTOR IS TO CHECK WITH BC HYDRO, TELUS AND FORTIS BC PRIOR TO COMMENCING WORK FOR VERIFICATIONS OF LOCATIONS AND INVERTS OF ALL GAS MAINS AND UNDERGROUND UTILITIES TO ENSURE NO CONFLICTS.
- 15.0 ANY MATERIAL SUBSTITUTIONS MUST BE APPROVED BY THE ENGINEER.
- 16.0 ANY SURVEY MONUMENTS MUST BE PROTECTED AND ANY DAMAGE SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
- 17.0 ALL EXISTING IMPROVEMENT SHALL BE RESTORED TO THE SATISFACTION OF THE CITY OF COQUITLAM.
- 18.0 SEE LANDSCAPE ARCHITECT'S DRAWINGS FOR FEATURE LAYOUTS, DIMENSIONS AND LANDSCAPE GRADING DETAILS.
- 19.0 CONTRACTOR TO PROVIDE 48 HOURS NOTICE PRIOR TO CONSTRUCTION WITHIN ROAD ALLOWANCES.
- 20.0 ALL WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH THE GEOTECHNICAL REPORT FOR THIS PROJECT.
- 21.0 CONTRACTOR TO PROVIDE AS-BUILT DRAWINGS UPON COMPLETION OF THE PROJECT.
- 22.0 ELEVATIONS ARE REFERRED TO GEODETIC DATUM.
- 23.0 SEE ARCHITECT'S DRAWINGS FOR BUILDING DETAILS, DIMENSIONS AND FINISHED FLOOR ELEVATIONS.
- 24.0 SANITARY AND WATER SERVICE CONNECTIONS TO BE TERMINATED AS SHOWN ON PLANS BY "ON-SITE" SERVICING CONTRACTOR. CONTINUATION BY BUILDING PLUMBING CONTRACTORS INCLUDING SEWER CLEANOUTS REQUIRED IMMEDIATELY OUTSIDE BUILDING.
- 25.0 ALL BUILDINGS CORNERS TO BE SURVEYED PRIOR TO SITE SERVICING
- 26.0 THE ONSITE CONTRACTOR SHOULD TAKE PHOTOS ALONG ALL APPLICABLE

- STREET SITE FRONTAGES AND PROPERTY LINES TO VERIFY THE EXISTING CONDITION PRIOR TO ANY SITE CONSTRUCTION. IF THIS IS NOT DONE, THE CONTRACTOR COULD BE ASSESSED FOR DAMAGES AND WILL BE REQUIRED TO UNDERTAKE ANY AND ALL RESTORATION WORKS AS DIRECTED BY THE CITY OF COQUITLAM.
- 27.0 TOPOGRAPHIC AND LEGAL SURVEY INFORMATION PROVIDED BY TARGET LAND SURVEYING (NW) LTD.
- 28.0 REPORT ANY DISCREPANCIES TO THE CONSULTING ENGINEER, PRIOR TO CONSTRUCTION.
- 29.0 CONTRACTOR TO SECURE ALL REQUIRED PERMITS PRIOR TO BEGINNING CONSTRUCTION.
- 30.0 IMMEDIATELY STOP WORK AND NOTIFY THE ENGINEER OF ANY SUSPECTED ARCHAEOLOGICAL MATERIALS UNCOVERED DURING EXCAVATION.
- 31.0 ALL DIMENSIONS AND ELEVATIONS SHOWN IN PLAN ARE IN METRES. ALL DIAMETERS OF PIPES AND CONCRETE STRUCTURES AND DETAIL DIMENSIONS ARE IN MILLIMETRES.

SURFACE WORKS AND ROADWORKS NOTES:

- 1.0 ALL MANHOLE LIDS, VALVE COVERS, CATCH BASINS AND LIDS OF ANY OTHER STRUCTURE TO BE ADJUSTED TO SUIT FINAL OR PROPOSED ROAD, DRIVEWAY, SIDEWALK, PATHWAY, BOULEVARD/LANDSCAPE AREAS, AND OTHER FINISHED GROUND FEATURES.
- 2.0 GEOTECHNICAL ENGINEER TO REVIEW ALL SUBGRADES PRIOR TO PLACING BASE MATERIALS.
- 3.0 FOR FENCE LOCATIONS, SEE LANDSCAPE ARCHITECT PLANS
- 4.0 LOCATIONS OF DRIVEWAYS, WHEELCHAIRS RAMPS, ETC., SHALL BE CONFIRMED IN THE FIELD PRIOR TO CONSTRUCTION OF THE PROPOSED CONCRETE CURB/GUTTER AND SIDEWALK.
- 5.0 ALL LOOSE, ORGANIC, OTHERWISE DELETERIOUS MATERIALS OR SOFT SPOT(S) ARE TO BE EXCAVATED AND REMOVED FROM THE SUBGRADE AS PER THE GEOTECHNICAL CONSULTANT'S REPORT.
- 6.0 ALL NEW SURFACES SHALL BE SMOOTHLY TIED INTO EXISTING SURFACES.
- 7.0 THE CONTRACTOR SHALL COMPLY WITH THE RECOMMENDATIONS AND BYLAWS OF THE REGULATORY AUTHORITIES. FEDERAL AND PROVINCIAL GOVERNMENT DEPARTMENTS INCLUDING THE "LAND DEVELOPMENT GUIDELINES FOR THE PROTECTION OF AQUATIC HABITAT" AS PRODUCED BY THE DEPARTMENT OF FISHERIES AND OCEANS CANADA.
- 8.0 CURBS ONSITE TO BE BARRIER CURBS IN ACCORDANCE WITH MMCD STD. DWG C4 UNLESS NOTED OTHERWISE.
- 9.0 LOCATIONS OF DRIVEWAYS, WHEELCHAIR RAMPS, ETC. SHALL BE CONFIRMED IN THE FIELD PRIOR TO CONSTRUCTION OF PROPOSED CONCRETE CURB AND GUTTER AND SIDEWALKS.
- 10.0 RESTORATION OF EXISTING DRIVEWAYS, PARKING AREAS, AND WALKWAYS TO CONFORM TO CITY OF COQUITLAM SPECIFICATIONS.

TESTING NOTES:

- 1.0 ALL TESTING TO BE PERFORMED BY A CSA OR CCIL (CANADIAN CERTIFIED TESTING LABORATORIES) CERTIFIED LABORATORY.
- 2.0 FREQUENCY OF DENSITY TESTS FOR EXCAVATING, TRENCHING AND BACKFILLING SHALL BE ONE TEST PER 50 LINEAL METERS OF TRENCH PER METER OF DEPTH. MATERIAL TO BE COMPACTED IN 300mm LIFTS.
- 3.0 FREQUENCY OF DENSITY TESTS FOR GRANULAR FILL IN AREA OF FILL SURFACES SHALL BE ONE TEST PER 250m2 PER 300mm LIFT.
- 4.0 FREQUENCY FOR GRANULAR BASE AND SUB-BASE IN HARDSCAPED AREAS INCLUDING ROADS AND PARKING LOTS SHALL BE ONE TEST PER 250m². SHOULD THE BASE OR SUBBASE LAYER BE GREATER THAN 300mm, TESTS SHALL BE PER LIFT.
- 5.0 FREQUENCY OF FOR GRANULAR BASE AND SUB-BASE SHALL BE ONE TEST PER 30 LINEAL METERS WITHIN SIDEWALK AND DRIVEWAY AREA.
- 6.0 FREQUENCY OF DENSITY TESTS FOR CURB BASE SHALL BE ONE TEST PER 100 LINEAL METERS.
- 7.0 FREQUENCY OF MARSHALL TESTS FOR HOT-MIX ASPHALT CONCRETE PAVING SHALL BE ONE TEST PER 400 TONNES OF MIX PLACED OR ONE TEST FOR EACH TYPE OF ASPHALT MIX, MINIMUM ONE PER DAY.
- 8.0 FOR STREET PAVING, CORE LOCATIONS WILL BE SELECTED FOR EACH PASS OF THE PAVING MACHINE AS FOLLOWS:
- 8.1 ACROSS THE WIDTH, CORE LOCATIONS WILL BE SELECTED RANDOMLY FROM ONE-SIXTH INCREMENTS
- 8.2 ALONG THE LENGTH, CORE LOCATIONS WILL HAVE A RANDOMLY SELECTED START WITH CORES AT A SPACING OF APPROXIMATELY, BUT NOT TO EXCEED, 30 METERS.
- 8.3 FOR OTHER PAVING OPERATIONS, A MINIMUM OF ONE CORE FOR EVERY 250 SQUARE METERS OF ASPHALT MIX PLACED.
- 9.0 FREQUENCY OF PLASTIC CONCRETE TESTS FOR SIDEWALK SHALL BE ONE TEST PER 30 LINEAL METERS OF A MINIMUM OF ONE PER DAY.
- 10.0 FREQUENCY OF PLASTIC CONCRETE TESTS FOR CURB AND GUTTER SHALL BE ONE TEST PER 50 LINEAL METERS OF A MINIMUM OF ONE PER DAY.

GRADING NOTES:

- 1.0 ALL ELEVATIONS AND DIMENSIONS ARE METRIC.
- 2.0 SITE PREPARATION, STRIPPING, EXCAVATION AND OPERATIONS TO BE REVIEWED BY A GEOTECHNICAL ENGINEER AND ALL WORKS TO BE CARRIED OUT IN ACCORDANCE WITH GEOTECHNICAL RECOMMENDATIONS.
- 3.0 CUT AND FILL SLOPES TO BE REVIEWED AND APPROVED BY GEOTECHNICAL ENGINEER.
- 4.0 ALL SITE GRADES SHOWN ARE FINISHED GRADING ELEVATIONS AND ARE TO BE REVIEWED BY GEOTECHNICAL ENGINEER.

STORM & SANITARY NOTES:

- 1.0 ALL STORM AND SANITARY PIPES LESS THAN OR EQUAL TO 150mmØ SHALL BE PVC SDR 28 UNLESS OTHERWISE NOTED. ALL STORM AND SANITARY PIPES GREATER THAN 150mmØ SHALL BE PVC SDR 35 UNLESS OTHERWISE NOTED. REFER TO PLANS DETAILS AND SPECIFICATIONS REGARDING SEWER FITTINGS AND APPURTENANCES. CONTACT THE PRIMARY PROJECT CONTACT REGARDING USE OF SUITABLE MAIN FITTINGS IF NOT SPECIFIED IN PLAN, DETAIL OR PROJECT SPECIFICATION. MINIMUM COVER SHALL BE 1.0 METERS FOR ANY SANITARY MAIN UNLESS OTHERWISE STATED.

- 2.0 ALL MANHOLE AND CATCH BASIN LIDS SHOWN ON CONTRACT DRAWINGS ARE TO FINISHED GRADE ELEVATIONS.
- 3.0 ALL CATCH BASIN/LAWN BASIN LEADS TO BE 150mm IN DIAMETER AT 1.0% SLOPE MIN UNLESS OTHERWISE NOTED. DOUBLE CATCH BASIN LEADS TO BE 250mm IN DIAMETER Ø1.0% SLOPE MIN UNLESS OTHERWISE STATED.
- 4.0 OFFSET OF ALL INSPECTION CHAMBERS (I.C.) TO BE IN ACCORDANCE WITH THE CURRENT CITY OF COQUITLAM SUPPLEMENTARY SPECIFICATIONS, MMCD, AND CITY DETAIL DRAWINGS..
- 5.0 ALL EXISTING SERVICE CONNECTIONS ARE TO BE FLUSHED TO ENSURE PROPER WORKING ORDER AND REPLACED IF NECESSARY.
- 6.0 MARK ALL CAPPED STUB ENDS WITH STAKE IN ACCORDANCE WITH MMCD.
- 7.0 FLOW ARROWS SHOWN ON PLAN PROVIDE DIRECTION OF FLOW DOWNHILL.
- 8.0 STORM SEWER TO BE PVC PIPE PER CSA. C/W GASKETS (UNLESS OTHERWISE NOTED)..
- 9.0 ALL MANHOLES BARRELS SHALL BE 1050mm DIAMETER UNLESS NOTED OTHERWISE.
- 10.0 STANDARD TOP-INLET CATCH BASINS SHALL BE INSTALLED AS PER MMCD STD. S11 (600mm DIAMETER).
- 11.0 ALL LAWN BASINS SHALL BE IN ACCORDANCE WITH MMCD STD. DET. S12 TYPE 2.
- 12.0 ALL WYES TO BE MANUFACTURED UNLESS OTHERWISE NOTED.
- 13.0 EXISTING INVERTS MUST BE VERIFIED IN THE FIELD BY CONTRACTOR PRIOR TO ORDERING MATERIALS.
- 14.0 THE CONTRACTOR SHALL BE RESPONSIBLE IN ENSURING THAT THE FINISHED RIM ELEVATION OF THE STORM AND SANITARY SEWER MANHOLES MATCHES THE FINISHED ROAD GRADES AND ELEVATIONS.
- 15.0 ALL C.B.'S IN ASPHALT AND PARKING AREAS TO BE 600mmØ AND SHALL BE CONSTRUCTED WITH DONUT FRAME AND GRATE TO SUPPORT H2O LOADING.
- 16.0 STORM AND SANITARY CONNECTIONS ARE TO TERMINATE 1m FROM BUILDINGS AND HAVE 1m OF COVER. SEE MECHANICAL ENGINEER'S DRAWINGS FOR CONFIRMATION OF LOCATION. DESIGN AND REQUIREMENT OF INSPECTION CHAMBERS OR STORM SUMPS ARE THE RESPONSIBILITY OF THE MECHANICAL ENGINEER.
- 17.0 ALL BUILDING CORNERS AND LANDSCAPING FEATURES (INCL. FENCING) TO BE STAKED PRIOR TO SITE SERVICING.
- 18.0 MANHOLES LIDS TO BE ORIENTED TO AVOID CURBS AND UNIT PAVER PLACEMENTS (SEE PAVING PLAN).
- 19.0 STORM SEWERS SHALL BE CCTV VIDEO INSPECTED PER MMCD SPECIFICATIONS.
- 20.0 SANITARY SEWERS SHALL BE PRESSURE TESTED AND VIDEO INSPECTED PER MMCD SPECIFICATIONS.
- 21.0 UNLESS PRIOR APPROVAL IS GIVEN TO THE DEVELOPER BY THE CITY, TIE-INS AND CONNECTIONS TO EXISTING SANITARY SEWERS ARE TO BE PERFORMED BY THE CITY AT THE DEVELOPER'S COST.
- 22.0 ALL GRANULAR PIPE BEDDING SHALL BE EITHER TYPE 1 ONLY OR AS PER THE CITY SPECIFICATIONS.
- 23.0 ALL MANHOLES TO BE INSTALLED PER MMCD STD. DET. S1, MANHOLE CONNECTIONS TO BE INSTALLED AS PER MMCD STD. DET. S2, AND MANHOLE INSIDE RAMP CONNECTIONS TO BE INSTALLED PER MMCD STD. DET. S3. MANHOLE INSIDE DROP CONNECTIONS PER CITY OF COQUITLAM STD. DET. COQ-S4.
- 24.0 EXISTING INVERTS TO BE VERIFIED IN THE FIELD PRIOR TO COMMENCING CONSTRUCTION.
- 25.0 ALL STORM AND SANITARY SYSTEMS TO BE IN ACCORDANCE WITH B.C. BUILDING CODE (2024).
- 26.0 ALL BUILDING CORNERS AND FEATURES (INCL. FENCING) TO BE STAKED PRIOR TO SITE SERVICING.
- 27.0 SANITARY AND STORM SEWER BEDDING AND BACKFILL SPECIFICATIONS PER CITY OF COQUITLAM STD. DET. COQ-G4.
- 28.0 STORM AND SANITARY MAIN BEDDING AND BACKFILL SPECIFICATION PER CITY OF COQUITLAM STD. DET. COQ-G4.

WATERWORKS NOTES:

- 1.0 FOR PRESSURE TESTING, USE A TEST PRESSURE OF 1380 kPa(200PSI).
- 2.0 WATERMAIN PIPE TO BE PVC DR18 PRESSURE PIPE CONFORMING TO AWWA C900 AND CERTIFIED TO CSA B137.3 (RATED TO 200 PSI) UNLESS OTHERWISE NOTED.
- 3.0 WATERMAIN OR SERVICE PIPE WALLS TO HAVE WRAPPED JOINTS PER LOCAL & MUNICIPAL HEALTH STANDARDS IF CLOSER THAN 0.5m VERTICAL OR 3.0m METERS HORIZONTAL TO SANITARY OR STORM MAIN PIPE WALLS.
- 4.0 MINIMUM GRADE OF WATERMAINS IS TO 0.1%.
- 5.0 MINIMUM PIPE COVER IS TO BE 1.0m TO FINISHED GRADE OR ALTERNATIVE TO MEET H-20 LIVE ROAD REQUIREMENTS AS APPROVED BY THE ENGINEER.
- 6.0 ALL FITTINGS, BENDS AND PIPE JOINTS TO HAVE JOINT RESTRAINTS THROUGHOUT UNLESS THRUST BLOCKS ARE NOTED ON PLAN.
- 7.0 VALVES AND BOXES TO BE INSTALLED AS PER MMCD W3.
- 8.0 VALVE BODIES, COMPONENTS & HYDRANTS TO BE DUCTILE IRON.
- 9.0 ALL TESTING AND CHLORINATION OF WATERMAINS TO BE DONE BY THE CONTRACTOR UNDER THE INSPECTION OF THE CITY OF COQUITLAM INSPECTOR AND ENGINEER. THE ENGINEER IS TO BE NOTIFIED 48 HOURS PRIOR TO TESTING. PRESSURE TEST TO B.C. BUILDING CODE (2024) AND CHLORINATE AND FLUSH TO MINISTRY OF HEALTH AND AWWA STANDARDS. TESTING TO BE APPROVED BY THE CITY PRIOR TO TIE-IN TO MUNICIPAL WATERMAIN.
- 10.0 CHANGES IN GRADE TO BE MADE BY DEFLECTION OF PIPE JOINTS TO A MAXIMUM OF HALF OF THE MANUFACTURER'S RECOMMENDED MAXIMUM DEFLECTION OR BY USING A TYTXYT FITTING
- 11.0 ALL MATERIALS AND CONSTRUCTION SHALL CONFORM TO THE CURRENT EDITION OF THE MMCD AND CITY OF COQUITLAM SUPPLEMENTARY SPECIFICATIONS, APPROVED PRODUCTS LIST, AND DETAIL DRAWINGS.
- 12.0 CONTRACTOR NOT TO INSTALL SERVICES OR WORK ON PRIVATE PROPERTY WITHOUT WRITTEN APPROVAL FROM PROPERTY OWNER, APPROVAL TO BE OBTAINED BY THE DEVELOPER.
- 13.0 BUILDING CONTRACTOR IS RESPONSIBLE FOR CONFIRMING ALL DRIVEWAY LOCATIONS PRIOR TO CONSTRUCTION AND IS RESPONSIBLE FOR ANY NECESSARY WATER SERVICE CONNECTION RELOCATIONS.
- 14.0 REPORT ANY DISCREPANCIES TO THE CONSULTING ENGINEER, PRIOR TO CONSTRUCTION.
- 15.0 THE CONTRACTOR SHALL SUPPLY ALL MATERIALS AND FITTINGS REQUIRED FOR THE TIE-IN OF THE NEW WATER MAINS BY THE CITY.

- 16.0 CONTRACTOR TO PROVIDE THIRD PARTY TEST RESULTS FOR CHLORINATION TEST, PRESSURE TEST, AND BACTERIOLOGICAL TEST FOR ALL WATERWORKS.

VDZ+A

LANDSCAPE ARCHITECTURE | CIVIL ENGINEERING | URBAN FORESTRY

FORT LANGLEY STUDIO | MOUNT PLEASANT STUDIO

100-9181 Church St | 102-355 Kingsway
Fort Langley, BC | Vancouver, BC
V1M 2B8 | VST 317

www.vdz.ca

604-882-0024

NOT FOR CONSTRUCTION

7	TW	Issued for Tender	Feb. 02, 2026
6	TW	Issued for Tender	Jan. 19, 2026
5	TW	Issued for Tender	Dec. 03, 2025
4	TW	Issued for Tender	Jul. 28, 2025
3	TW	Issued for 90% CD	Jun. 19, 2025
2	TW	Issued for 50% CD	Apr. 02, 2025
1	TW	Issued for 25% CD	Feb. 7, 2025
No.	By:	Description	Date
REVISIONS TABLE FOR DRAWINGS			
© Copyright reserved. This drawing and design is the property of VDZ+A and may not be reproduced or used for other projects without permission.			
No.	By:	Description	Date
REVISIONS TABLE FOR SHEET			
Project: MACKIN PARK BALLFIELDS			
Location: 1046 BRUNETTE AVENUE COQUITLAM, B.C.			
Drawn:	Stamp:		
AB	<div><div>PP No.: 1001970</div><div>PP No.: 1001970</div></div>		
Checked:	Original Sheet Size:		
TW	24"x36"		
Approved:			
TW			
Scale:	CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCY TO THE CONSULTANT BEFORE PROCEEDING. ALL DRAWINGS AND SPECIFICATIONS ARE THE EXCLUSIVE PROPERTY OF THE OWNER AND MUST BE RETURNED AT THE COMPLETION OF THE WORK. ALL REVISIONS TO DRAWINGS MUST NOT BE PERMITTED FOR CONSTRUCTION UNLESS LABELED ISSUED FOR TENDER/CONSTRUCTION.		
NTS			

Drawing Title:

CIVIL NOTES

Drawing #:

CN-01

VDZ Project #:

PR2024-20

NORTH

Z:\PROJECTS\PARKS & RECREATION\ACTIVE\2024\PR2024-20 MACKIN PARK BALLFIELDS\5. DWG\SHEETS\CIVIL SHEETS\ESC-01 ESC PLAN PHASE 1.DWG



ESC LEGEND	
SYMBOL	DESCRIPTION
	PROPOSED SILT FENCING
	INLET SILT PROTECTION
	WATER QUALITY MONITORING STATION

ESC PLAN
PHASE 1 – STRIPPING & BULK EARTHWORKS
PHASE 2 – INSTALLATION OF UTILITIES
PHASE 3 – FINAL GRADING TO FINISHED GRADE

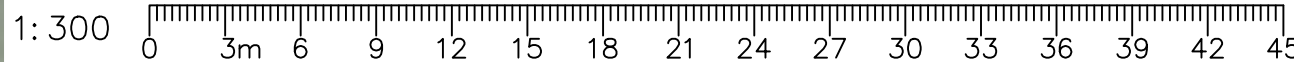
EXPOSED SLOPES AND STOCKPILES
TO BE COVERED PER ESC-02
DETAIL 7

ROADS TO BE SWEEPED DAILY OR
MORE FREQUENTLY AS REQUIRED BY
COMMERCIAL SWEEPER. FLUSHING OF
ROADS IS NOT PERMITTED

SRWS WERE NOT SURVEYED IN THEIR
ENTIRETY AND AS SUCH THEIR
LOCATIONS ARE NOT ACCURATE

CONTRACTOR TO TEST PIT IN ORDER TO
CONFIRM ALL LOCATIONS, DEPTHS, AND
TYPE OF SERVICE PRIOR TO ORDERING
MATERIALS.

CONTRACTOR TO CONTACT TELUS, BC
HYDRO, FORTISBC, AND BC ONE CALL
PRIOR TO CONSTRUCTION TO CONFIRM
LOCATIONS OF UTILITIES
AND APPURTENANCES REQUIRING
ADJUSTMENT



VDZ+A
LANDSCAPE ARCHITECTURE | CIVIL ENGINEERING | URBAN FORESTRY

FORT LANGLEY STUDIO | MOUNT PLEASANT STUDIO
100-9181 Church St 102-355 Kingsway
Fort Langley, BC Vancouver, BC
V1M 2B8 VST 317
www.vdz.ca 604-882-0024

NOT FOR CONSTRUCTION

7	TW	Issued for Tender	Feb. 02, 2026
6	TW	Issued for Tender	Jan. 19, 2026
5	TW	Issued for Tender	Dec. 03, 2025
4	TW	Issued for Tender	Jul. 28, 2025
3	TW	Issued for 90% CD	Jun. 19, 2025
2	TW	Issued for 50% CD	Apr. 02, 2025
1	TW	Issued for 25% CD	Feb. 7, 2025
No.	By:	Description	Date

REVISIONS TABLE FOR DRAWINGS
© Copyright reserved. This drawing and design is the property of Vdz+A and may not be reproduced or used for other projects without permission.

No.	By:	Description	Date

REVISIONS TABLE FOR SHEET

Project:
MACKIN PARK BALLFIELDS

Location:
1046 BRUNETTE AVENUE
COQUITLAM, B.C.

Drawn:
AB

Checked:
TW

Approved:
TW

Scale:
1:300

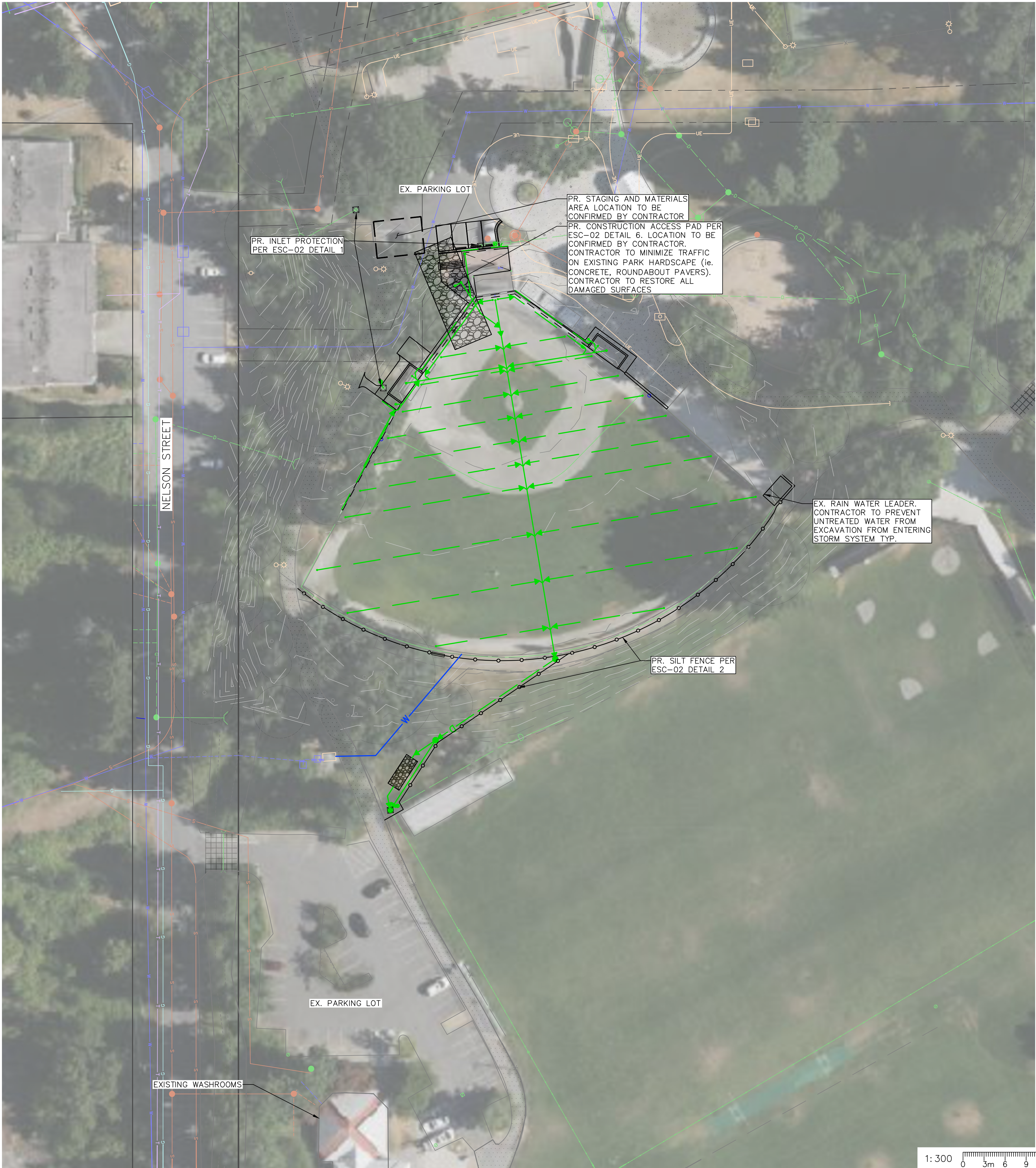
Stamp:

PP No.: 1001970

Original Sheet Size:
24"x36"

CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCY TO THE CONSULTANT BEFORE PROCEEDING. ALL DRAWINGS AND SPECIFICATIONS ARE THE EXCLUSIVE PROPERTY OF THE OWNER AND MUST BE RETURNED AT THE COMPLETION OF THE WORK. ALL REVISIONS TO BE MADE BY THE CONSULTANT. DRAWINGS MUST NOT BE REPRODUCED OR USED FOR CONSTRUCTION UNLESS LABELED ISSUED FOR TENDER/CONSTRUCTION.

Z:\PROJECTS\PARKS & RECREATION\ACTIVE\2024\PR2024-20 MACKIN PARK BALLFIELDS\5. DWG\SHEETS\CIVIL SHEETS\ESC-01 ESC PLAN PHASE 2.DWG



ESC LEGEND	
SYMBOL	DESCRIPTION
	PROPOSED SILT FENCING
	INLET SILT PROTECTION
	WATER QUALITY MONITORING STATION

ESC PLAN
PHASE 1 – STRIPPING & BULK EARTHWORKS
PHASE 2 – INSTALLATION OF UTILITIES
PHASE 3 – FINAL GRADING TO FINISHED GRADE

EXPOSED SLOPES AND STOCKPILES
TO BE COVERED PER ESC-02
DETAIL 7

ROADS TO BE SWEEPED DAILY OR
MORE FREQUENTLY AS REQUIRED BY
COMMERCIAL SWEEPER. FLUSHING OF
ROADS IS NOT PERMITTED

SRW'S WERE NOT SURVEYED IN THEIR
ENTIRETY AND AS SUCH THEIR
LOCATIONS ARE NOT ACCURATE

CONTRACTOR TO TEST PIT IN ORDER TO
CONFIRM ALL LOCATIONS, DEPTHS, AND
TYPE OF SERVICE PRIOR TO ORDERING
MATERIALS.

CONTRACTOR TO CONTACT TELUS, BC
HYDRO, FORTISBC, AND BC ONE CALL
PRIOR TO CONSTRUCTION TO CONFIRM
LOCATIONS OF UTILITIES
AND APPURTENANCES REQUIRING
ADJUSTMENT

VDZ+A
LANDSCAPE ARCHITECTURE | CIVIL ENGINEERING | URBAN FORESTRY

FORT LANGLEY STUDIO | MOUNT PLEASANT STUDIO
100-9181 Church St 102-355 Kingsway
Fort Langley, BC Vancouver, BC
V1M 2B8 V1T 3J7
www.vdz.ca 604-882-0024

NOT FOR CONSTRUCTION

7	TW	Issued for Tender	Feb. 02, 2026
6	TW	Issued for Tender	Jan. 19, 2026
5	TW	Issued for Tender	Dec. 03, 2025
4	TW	Issued for Tender	Jul. 28, 2025
3	TW	Issued for 90% CD	Jun. 19, 2025
2	TW	Issued for 50% CD	Apr. 02, 2025
1	TW	Issued for 25% CD	Feb. 7, 2025
No.	By:	Description	Date

REVISIONS TABLE FOR DRAWINGS
© Copyright reserved. This drawing and design is the property of
VDZ+A and may not be reproduced or used for other projects
without permission.

No.	By:	Description	Date
-----	-----	-------------	------

REVISIONS TABLE FOR SHEET

Project:
MACKIN PARK BALLFIELDS

Location:
1046 BRUNETTE AVENUE
COQUITLAM, B.C.

Drawn:
AB

Checked:
TW

Approved:
TW

Scale:
1:300

Stamp:

PP No.: 1001970

Original Sheet Size:
24"x36"

CONTRACTOR SHALL CHECK ALL
DIMENSIONS ON THE WORK AND REPORT
ANY DISCREPANCY TO THE CONSULTANT
BEFORE PROCEEDING. ALL DRAWINGS
AND SPECIFICATIONS ARE THE EXCLUSIVE
PROPERTY OF THE OWNER AND MUST BE
RETURNED AT THE COMPLETION OF THE
WORK. ALL REVISIONS TO BE MADE BY
DRAWINGS MUST NOT BE PERMITTED FOR
CONSTRUCTION UNLESS LABELED ISSUED
FOR TENDER/CONSTRUCTION.

Drawing Title:
ESC PLAN PHASE 2



VDZ Project #:
PR2024-20

Drawing #:
ESC-01B

Z:\PROJECTS\PARKS & RECREATION\ACTIVE\2024\PR2024-20 MACKIN PARK BALLFIELDS\5. DWG\SHEETS\CIVIL SHEETS\ESC-01 ESC PLAN PHASE 3.DWG



1:300 0 3m 6 9 12 15 18 21 24 27 30 33 36 39 42 45

ESC LEGEND	
SYMBOL	DESCRIPTION
	PROPOSED SILT FENCING
	INLET SILT PROTECTION
	WATER QUALITY MONITORING STATION

ESC PLAN
PHASE 1 – STRIPPING & BULK EARTHWORKS
PHASE 2 – INSTALLATION OF UTILITIES
PHASE 3 – FINAL GRADING TO FINISHED GRADE

EXPOSED SLOPES AND STOCKPILES TO BE COVERED PER ESC-02 DETAIL 7

ROADS TO BE SWEEPED DAILY OR MORE FREQUENTLY AS REQUIRED BY COMMERCIAL SWEEPER. FLUSHING OF ROADS IS NOT PERMITTED

SRW'S WERE NOT SURVEYED IN THEIR ENTIRETY AND AS SUCH THEIR LOCATIONS ARE NOT ACCURATE

CONTRACTOR TO TEST PIT IN ORDER TO CONFIRM ALL LOCATIONS, DEPTHS, AND TYPE OF SERVICE PRIOR TO ORDERING MATERIALS.

CONTRACTOR TO CONTACT TELUS, BC HYDRO, FORTISBC, AND BC ONE CALL PRIOR TO CONSTRUCTION TO CONFIRM LOCATIONS OF UTILITIES AND APPURTENANCES REQUIRING ADJUSTMENT

VDZ+A

LANDSCAPE ARCHITECTURE | CIVIL ENGINEERING | URBAN FORESTRY

FORT LANGLEY STUDIO | MOUNT PLEASANT STUDIO

100-9181 Church St 102-355 Kingsway

Fort Langley, BC Vancouver, BC

VLM 288 VST 317

www.vdz.ca

604-882-0024

NOT FOR CONSTRUCTION

7	TW	Issued for Tender	Feb. 02, 2026
6	TW	Issued for Tender	Jan. 19, 2026
5	TW	Issued for Tender	Dec. 03, 2025
4	TW	Issued for Tender	Jul. 28, 2025
3	TW	Issued for 90% CD	Jun. 19, 2025
2	TW	Issued for 50% CD	Apr. 02, 2025
1	TW	Issued for 25% CD	Feb. 7, 2025
No.	By:	Description	Date

REVISIONS TABLE FOR DRAWINGS

Copyright reserved. This drawing and design is the property of Vdz+A and may not be reproduced or used for other projects without permission.

No.	By:	Description	Date
-----	-----	-------------	------

REVISIONS TABLE FOR SHEET

Project:
MACKIN PARK BALLFIELDS

Location:
1046 BRUNETTE AVENUE
COQUITLAM, B.C.

Drawn:

AB

Stamp:



Checked:

TW

PP No.: 1001970

Approved:

TW

Original Sheet Size:
24"x36"

Scale:

1:300

CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCY TO THE CONSULTANT BEFORE PROCEEDING. ALL DRAWINGS AND SPECIFICATIONS ARE THE EXCLUSIVE PROPERTY OF THE OWNER AND MUST BE RETURNED AT THE COMPLETION OF THE WORK. ALL REVISIONS TO DRAWINGS MUST NOT BE PERMITTED FOR CONSTRUCTION UNLESS LABELED ISSUED FOR TENDER/CONSTRUCTION.

Drawing Title:

ESC PLAN PHASE 3



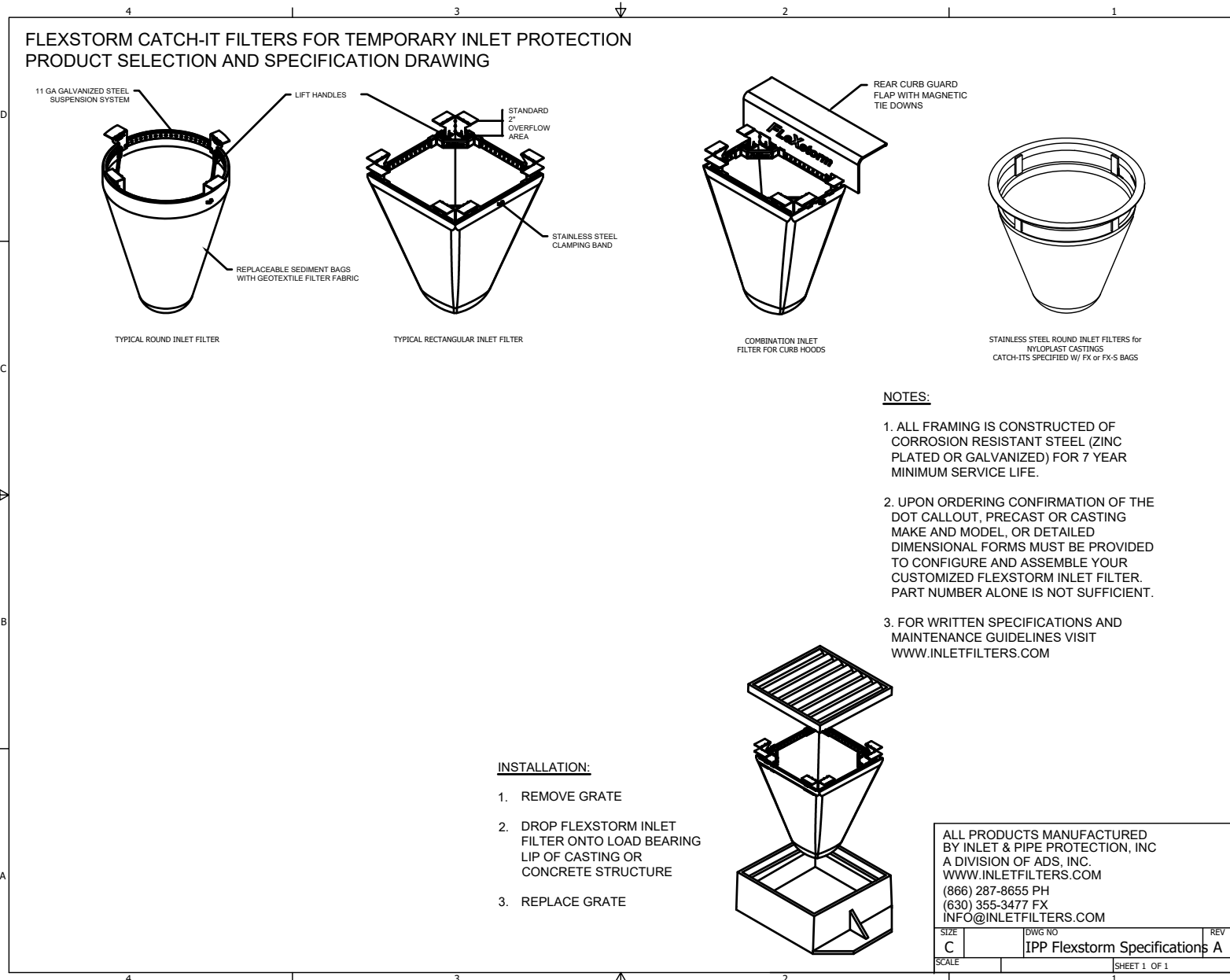
Drawing Project #:

PR2024-20

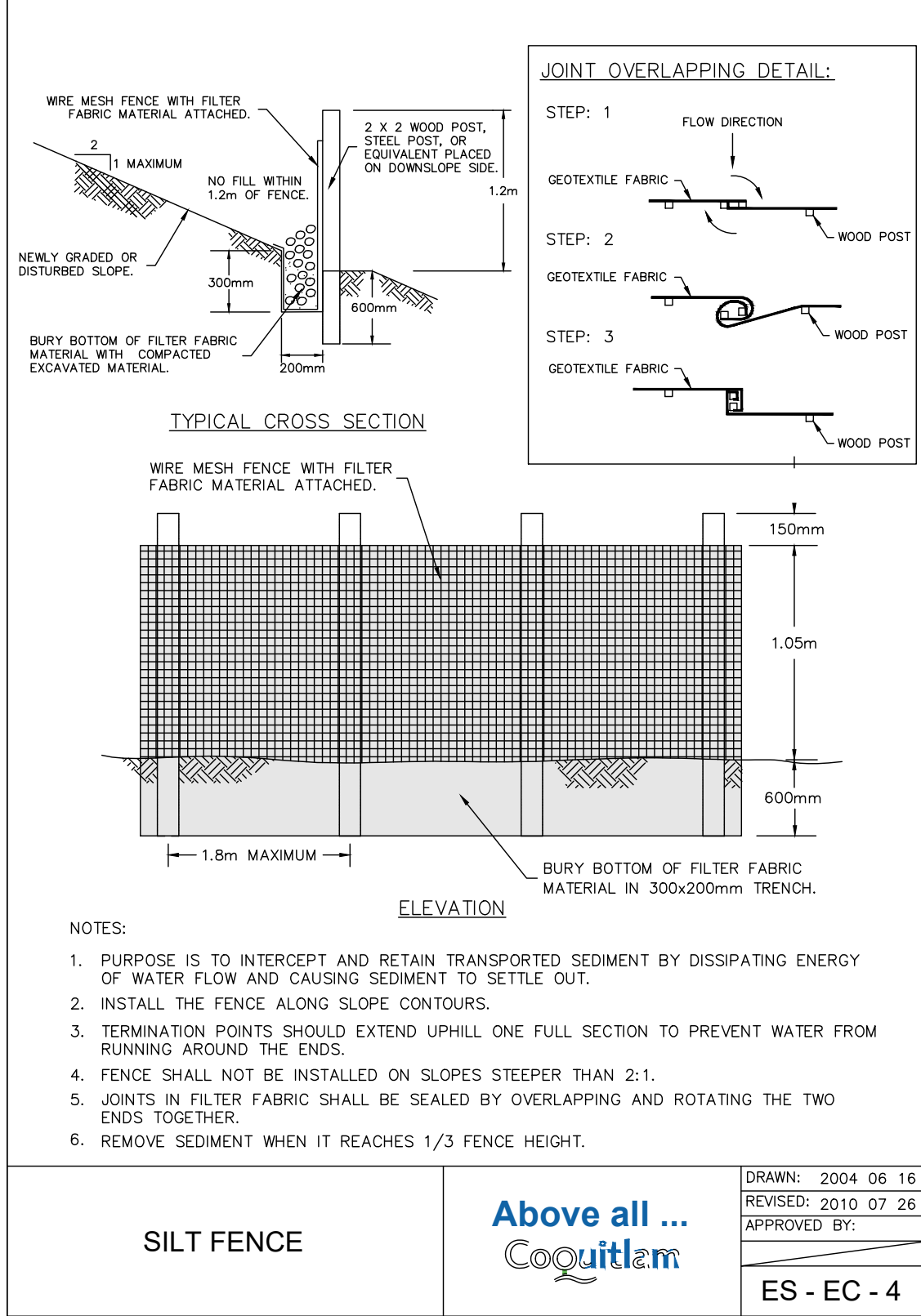
Drawing #:

ESC-01C

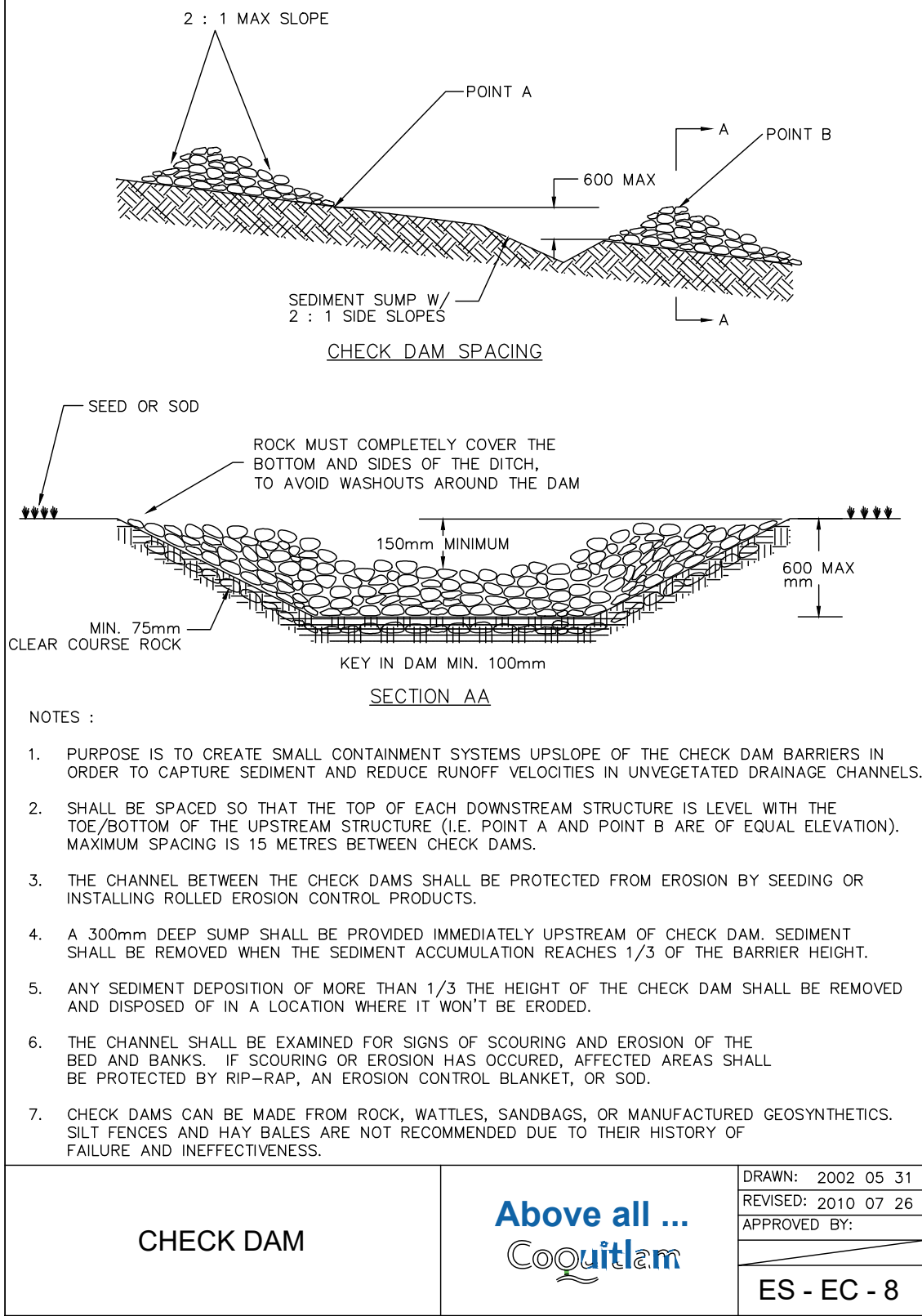
Z:\PROJECTS\PARKS & RECREATION\ACTIVE\2024\PR2024-20 MACKIN PARK BALLFIELDS\5. DWG\SHEET\SCIVIL SHEET\ESC-12 ESC DETAILS.DWG



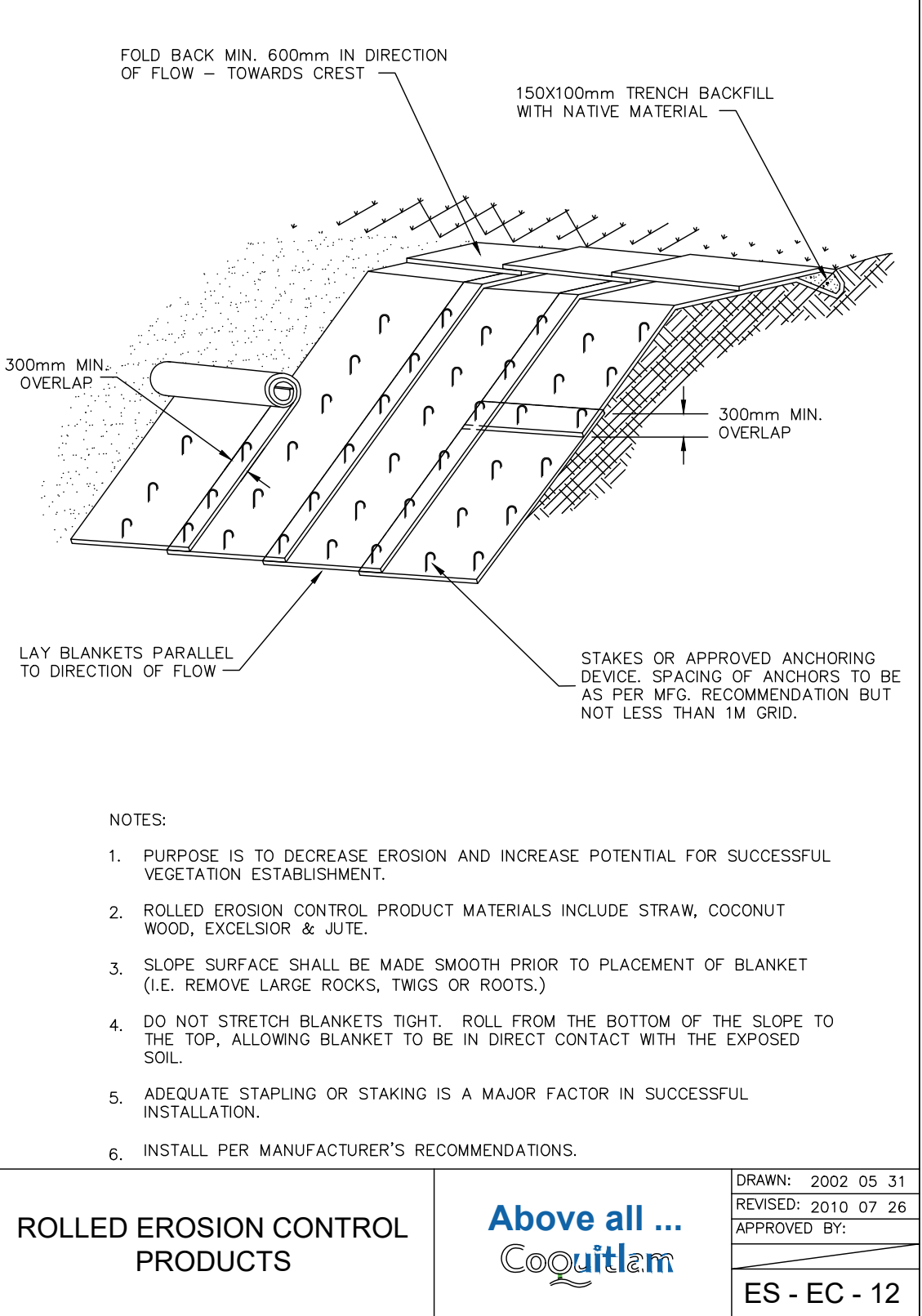
1 STORM INLET FILTER (TYP.)
SCALE: NTS



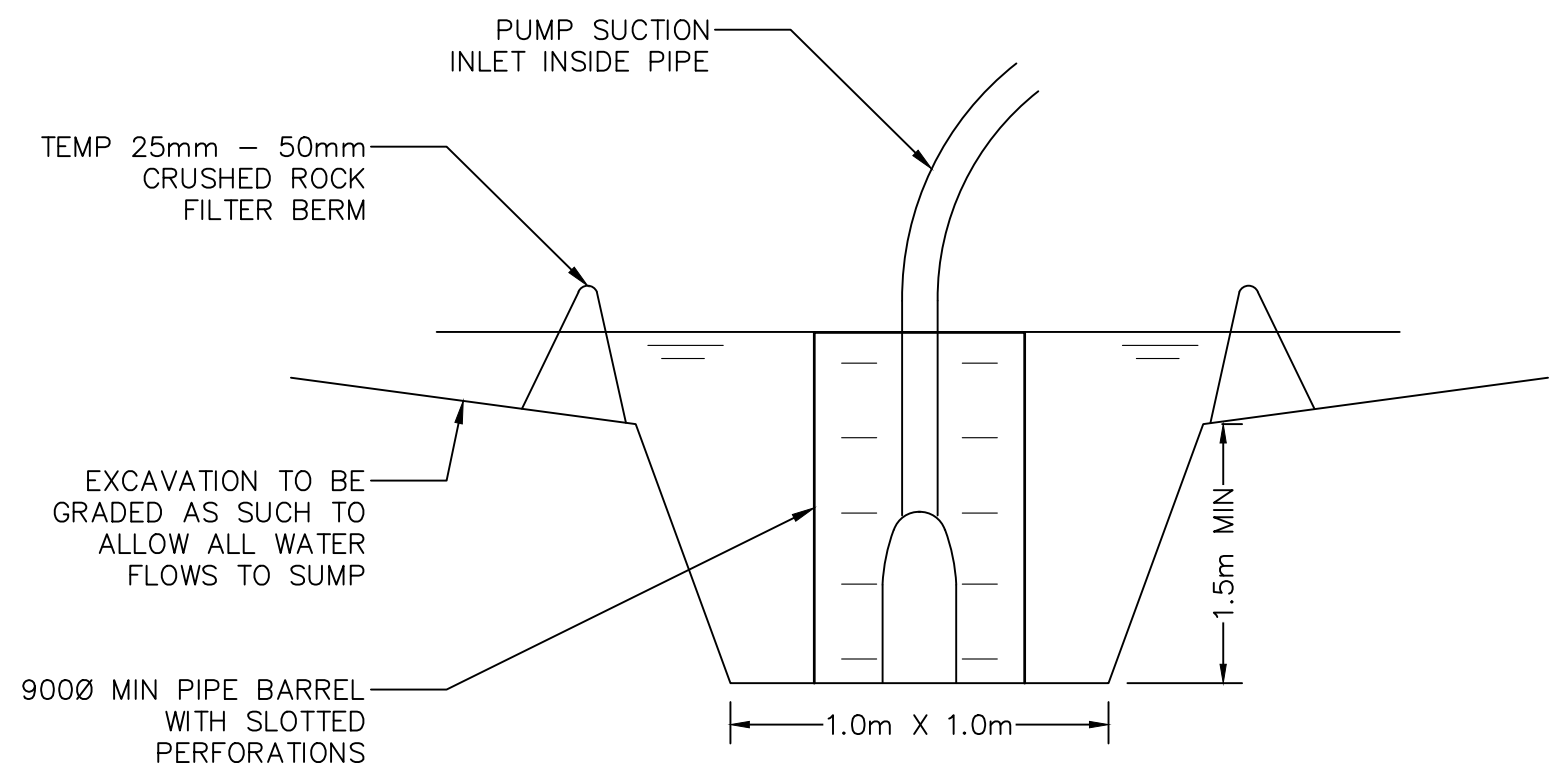
2 SILT FENCE
SCALE: NTS



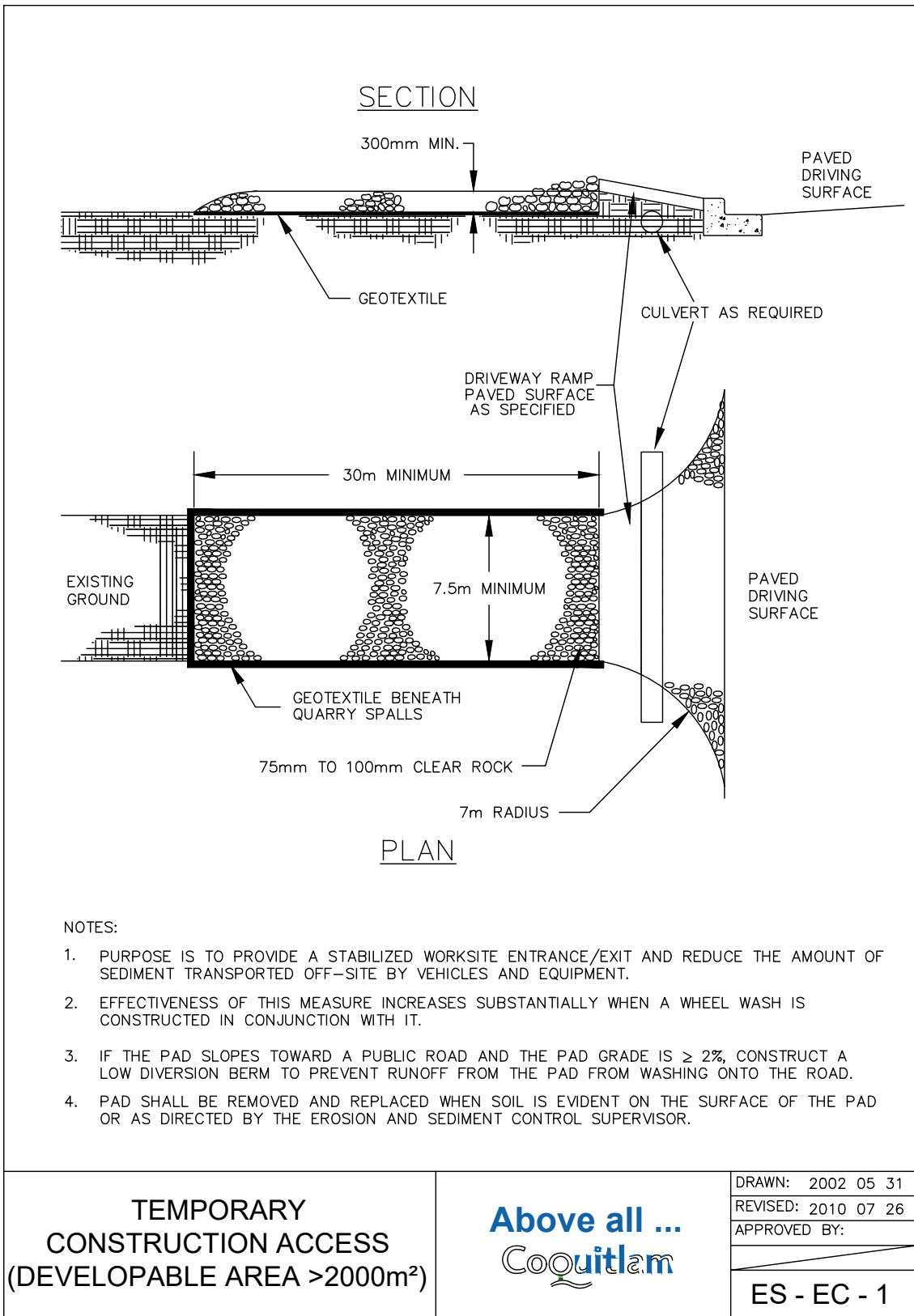
3 CHECK-DAM
SCALE: NTS



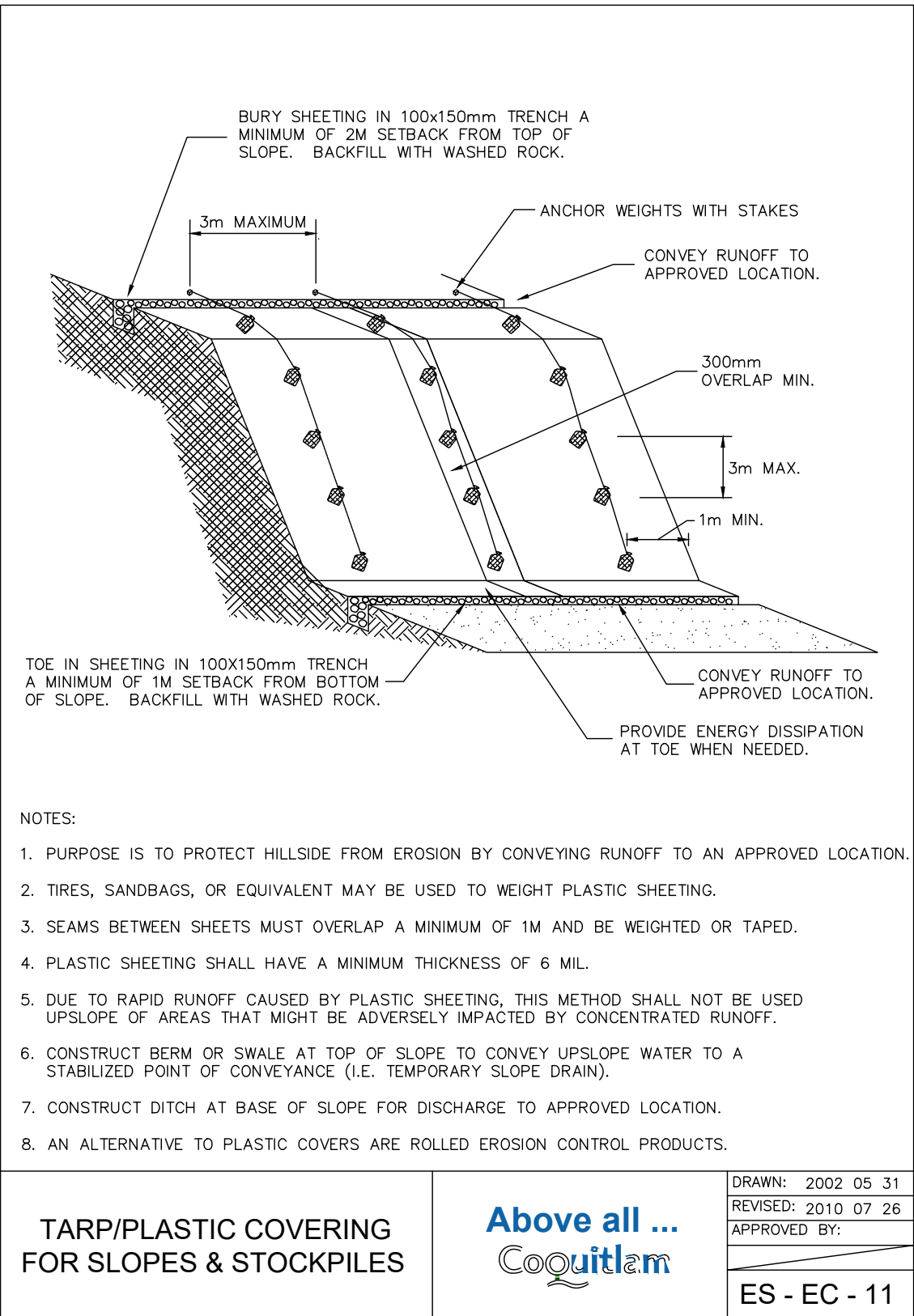
4 ROLLED EROSION CONTROL PRODUCTS
SCALE: NTS



5 PUMP SUMP (TYP.)
SCALE: 1:20



6 CONSTRUCTION ACCESS PAD
SCALE: NTS



7 PLASTIC COVERING FOR SLOPES AND STOCKPILES
SCALE: NTS

NOT FOR CONSTRUCTION

No.	By:	Description	Date
7	TW	Issued for Tender	Feb. 02, 2026
6	TW	Issued for Tender	Jan. 19, 2026
5	TW	Issued for Tender	Dec. 03, 2025
4	TW	Issued for Tender	Jul. 28, 2025
3	TW	Issued for 90% CD	Jun. 19, 2025
2	TW	Issued for 50% CD	Apr. 02, 2025
1	TW	Issued for 25% CD	Feb. 7, 2025

No.	By:	Description	Date
7	TW	Issued for Tender	Feb. 02, 2026
6	TW	Issued for Tender	Jan. 19, 2026
5	TW	Issued for Tender	Dec. 03, 2025
4	TW	Issued for Tender	Jul. 28, 2025
3	TW	Issued for 90% CD	Jun. 19, 2025
2	TW	Issued for 50% CD	Apr. 02, 2025
1	TW	Issued for 25% CD	Feb. 7, 2025

No.	By:	Description	Date
7	TW	Issued for Tender	Feb. 02, 2026
6	TW	Issued for Tender	Jan. 19, 2026
5	TW	Issued for Tender	Dec. 03, 2025
4	TW	Issued for Tender	Jul. 28, 2025
3	TW	Issued for 90% CD	Jun. 19, 2025
2	TW	Issued for 50% CD	Apr. 02, 2025
1	TW	Issued for 25% CD	Feb. 7, 2025

No.	By:	Description	Date
7	TW	Issued for Tender	Feb. 02, 2026
6	TW	Issued for Tender	Jan. 19, 2026
5	TW	Issued for Tender	Dec. 03, 2025
4	TW	Issued for Tender	Jul. 28, 2025
3	TW	Issued for 90% CD	Jun. 19, 2025
2	TW	Issued for 50% CD	Apr. 02, 2025
1	TW	Issued for 25% CD	Feb. 7, 2025

No.	By:	Description	Date
7	TW	Issued for Tender	Feb. 02, 2026
6	TW	Issued for Tender	Jan. 19, 2026
5	TW	Issued for Tender	Dec. 03, 2025
4	TW	Issued for Tender	Jul. 28, 2025
3	TW	Issued for 90% CD	Jun. 19, 2025
2	TW	Issued for 50% CD	Apr. 02, 2025
1	TW	Issued for 25% CD	Feb. 7, 2025

No.	By:	Description	Date
7	TW	Issued for Tender	Feb. 02, 2026
6	TW	Issued for Tender	Jan. 19, 2026
5	TW	Issued for Tender	Dec. 03, 2025
4	TW	Issued for Tender	Jul. 28, 2025
3	TW	Issued for 90% CD	Jun. 19, 2025
2	TW	Issued for 50% CD	Apr. 02, 2025
1	TW	Issued for 25% CD	Feb. 7, 2025

No.	By:	Description	Date
7	TW	Issued for Tender	Feb. 02, 2026
6	TW	Issued for Tender	Jan. 19, 2026
5	TW	Issued for Tender	Dec. 03, 2025
4	TW	Issued for Tender	Jul. 28, 2025
3	TW	Issued for 90% CD	Jun. 19, 2025
2	TW	Issued for 50% CD	Apr. 02, 2025
1	TW	Issued for 25% CD	Feb. 7, 2025

No.	By:	Description	Date
7	TW	Issued for Tender	Feb. 02, 2026
6	TW	Issued for Tender	Jan. 19, 2026
5	TW	Issued for Tender	Dec. 03, 2025
4	TW	Issued for Tender	Jul. 28, 2025
3	TW	Issued for 90% CD	Jun. 19, 2025
2	TW	Issued for 50% CD	Apr. 02, 2025
1	TW	Issued for 25% CD	Feb. 7, 2025

No.	By:	Description	Date
7	TW	Issued for Tender	Feb. 02, 2026
6	TW	Issued for Tender	Jan. 19, 2026
5	TW	Issued for Tender	Dec. 03, 2025
4	TW	Issued for Tender	Jul. 28, 2025
3	TW	Issued for 90% CD	Jun. 19, 2025
2	TW	Issued for 50% CD	Apr. 02, 2025
1	TW	Issued for 25% CD	Feb. 7, 2025

No.	By:	Description	Date
7	TW	Issued for Tender	Feb. 02, 2026
6	TW	Issued for Tender	Jan. 19, 2026
5	TW	Issued for Tender	Dec. 03, 2025
4	TW	Issued for Tender	Jul. 28, 2025
3	TW	Issued for 90% CD	Jun. 19, 2025
2	TW	Issued for 50% CD	Apr. 02, 2025
1	TW	Issued for 25% CD	Feb. 7, 2025

No.	By:	Description	Date
7	TW	Issued for Tender	Feb. 02, 2026
6	TW	Issued for Tender	Jan. 19, 2026
5	TW	Issued for Tender	Dec. 03, 2025
4	TW	Issued for Tender	Jul. 28, 2025
3	TW	Issued for 90% CD	Jun. 19, 2025
2	TW	Issued for 50% CD	Apr. 02, 2025
1	TW	Issued for 25% CD	Feb. 7, 2025

No.	By:	Description	Date
7	TW	Issued for Tender	Feb. 02, 2026
6	TW	Issued for Tender	Jan. 19, 2026
5	TW	Issued for Tender	Dec. 03, 2025
4	TW	Issued for Tender	Jul. 28, 2025
3	TW	Issued for 90% CD	Jun. 19, 2025
2	TW	Issued for 50% CD	Apr. 02, 2025
1	TW	Issued for 25% CD	Feb. 7, 2025

No.	By:	Description	Date
7	TW	Issued for Tender	Feb. 02, 2026
6	TW	Issued for Tender	Jan. 19, 2026
5	TW	Issued for Tender	Dec. 03, 2025
4	TW	Issued for Tender	Jul. 28, 2025
3	TW	Issued for 90% CD	Jun. 19, 2025
2	TW	Issued for 50% CD	Apr. 02, 2025
1	TW	Issued for 25% CD	Feb. 7, 2025

No.	By:	Description	Date
7	TW	Issued for Tender	Feb. 02, 2026
6	TW	Issued for Tender	Jan. 19, 2026
5	TW	Issued for Tender	Dec. 03, 2025
4	TW	Issued for Tender	Jul. 28, 2025
3	TW	Issued for 90% CD	Jun. 19, 2025
2	TW	Issued for 50% CD	Apr. 02, 2025
1	TW	Issued for 25% CD	Feb. 7, 2025

Drawing Title:
ESC DETAILS



VDZ Project #:
PR2024-20

Drawing #:
ESC-02

CITY OF COQUITLAM GENERAL NOTES:

- ALL EROSION AND SEDIMENT CONTROL MEASURES TO BE IN COMPLIANCE WITH:
 - CITY OF COQUITLAM SUBDIVISION AND DEVELOPMENT SERVICING BYLAW NO. 3558, 2003 AS AMENDED MARCH 2016 AND STREAM AND DRAINAGE SYSTEM PROTECTION BYLAW NO. 4403, 2013.
 - SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL (ESC) IN APPLICABLE CONTRACT DOCUMENTS.
 - MINISTRY OF ENVIRONMENTAL AND FEDERAL FISHERIES REQUIREMENTS.

EROSION AND SEDIMENT CONTROL CONSTRUCTION NOTES

- ALL CONSTRUCTION ACTIVITIES ARE TO BE UNDERTAKEN IN ACCORDANCE WITH THE CITY OF COQUITLAM STREAM AND DRAINAGE SYSTEM PROTECTION BYLAW NO. 4403, 2013.
- CONTRACTOR TO INSTALL ALL EROSION AND SEDIMENT CONTROL (ESC) MEASURES INCLUDING CATCH BASIN (CB) FILTER INSERTS, SILT FENCES, TREE PROTECTION FENCES OR ANY OTHER FACILITY DEEMED NECESSARY BY THE ESC DESIGNER OR MONITOR.
- ALL VEHICULAR ACCESS TO THE SITE IS TO BE VIA EXISTING ROADS OR CLEAN GRAVEL SURFACES.
- ALL EXCAVATION, STOCKPILING, AND GRADING TO OCCUR IN A MANNER THAT MINIMIZES DISTURBANCE TO EXISTING VEGETATION.
- ALL ASPHALT PATCHING TO BE COMPLETED THE SAME DAY AS SERVICING.
- ANY EXCAVATION SPOIL AND/OR MATERIAL STOCKPILES ARE TO BE COVERED WITH POLY TO MINIMIZE THE WASHING OF PARTICLES INTO THE STORM FLOWS AND/OR STORM SEWER SYSTEM. FILES SHOULD BE COVERED WITH 4MIL POLY LAPPED MINIMUM 0.5 M. ALL POLY IS TO BE ANCHORED SUCH THAT IT CANNOT EXPOSE THE COVERED MATERIAL IN THE EVENT OF RAIN AND/OR WIND STORMS. THIS WILL INCLUDE, BUT NOT BE LIMITED TO, SECURING THE PERIMETER IN 0.3 M TRENCHES.
- ALL GROUND SURFACES EXPOSED DURING GRADING, SERVICING OR ROAD BUILDING ARE TO BE COMPACTED WITH A STEEL DRUMMED ROLLER TO ENSURE THAT THE SOIL DOES NOT ABSORB EXCESS MOISTURE. ALL AREAS DISTURBED ARE TO BE GRADED SUCH THAT FOLLOWING COMPACTING, NO PUDDLES OR STANDING WATER CAN FORM. UPON COMPLETION OF GRADING ALL EXPOSED SURFACES ARE TO BE COVERED USING HYDROSEED, SOD OR ROLLED EROSION CONTROL PRODUCT (RECP) WITH SEED, OR WHAT ESC SUPERVISOR INDICATES.
- UPON INSTRUCTION/NOTIFICATION BY THE ENGINEER OF RECORD OR ESC SUPERVISOR; PERSONS RESPONSIBLE ARE REQUIRED TO UNDERTAKE MAINTENANCE ACTIVITIES AS DEEMED SPECIFIED TO MODIFY OR MAINTAIN ESC FACILITIES.
- THE DEVELOPER OR BUILDING MUST REGULARLY CLEAN PAVED ROAD SURFACES OF ACCUMULATED SEDIMENTS AT THE END OF EACH DAY OR AS REQUIRED. NO SOIL, SAND OR OTHER MATERIAL SHALL BE DEPOSITED OR PILED OUTSIDE OF THE PROPERTY BOUNDARIES, PARTICULARLY ON PAVED ROAD SURFACES.
- ALL SEDIMENT REMOVED FROM ESC CONTROL FACILITIES TO BE DISPOSED OF IN A MANNER AS TO NOT COMPOUND OR COMPROMISE THE SEDIMENT LOADING OF OTHER CONTROL MEASURES.
- ALL EXPOSED SOILS ARE TO BE SUITABLY COVERED OR ALTERNATIVELY KEPT DAMP TO PREVENT EXCESS DUST IN THE AIR.
- WET WEATHER SHUT DOWN PROCEDURES ARE TO BE IMPLEMENTED IF A RAIN EVENT IN EXCESS OF 25MM IN A 24-HOUR PERIOD IS FORECAST. ADDITIONALLY, REACTIVE WET WEATHER SHUT DOWNS ARE TO BE IMPLEMENTED WHERE THE INTENSITY AND/OR DURATION OF THE PRECIPITATION RESULTS IN THE SATURATION OF THE OVERLAYING SURFACE MATERIAL AND SIGNIFICANT PONDING OR SURFACE RUN OFF OCCURS.
- SITE SIGNAGE REQUIRED TO IDENTIFY ESC FACILITIES WITH 24-HR CONTACT INFORMATION FOR ESC SUPERVISOR AND THE CITY SITE ADDRESS.

EROSION AND SEDIMENT CONTROL MAINTENANCE NOTES

- AREA STREETS AND CATCH BASINS ARE TO BE INSPECTED DAILY AND CLEANED IF REQUIRED AT THE END OF EACH WORK DAY.
- STREETS ARE TO BE SWEEPED (NOT FLUSHED) TO ENSURE THAT MINIMUM DEBRIS ENTERS THE STORM DRAINAGE SYSTEMS.
- CONSTRUCTION ACTIVITIES ARE TO BE STOPPED AND MAINTENANCE UNDERTAKEN IF WEATHER CONDITIONS OR GRAVEL ACCESS PADS, OR OTHER SITUATION ALLOW EXCESSIVE CONSTRUCTION MATERIAL TO BE DEPOSITED ON THE ROAD SURFACES.
- SILT FENCE MAINTENANCE:
 - INSPECT IMMEDIATELY AFTER EACH RAINFALL, AND AT LEAST DAILY DURING PROLONGED RAINFALL. REPAIR AS NECESSARY.
 - SEDIMENT SHOULD BE REMOVED WHEN IT REACHES APPROXIMATELY ONE THIRD OF THE HEIGHT OF THE FENCE, ESPECIALLY IF HEAVY RAINS ARE EXPECTED.

EROSION AND SEDIMENT CONTROL MONITORING PROGRAM

- MAINTENANCE/MONITORING PROGRAM WILL BE COORDINATED BY:
INDIVIDUAL: TAYLOR WEBBER
COMPANY: VDZ+A CONSULTING INC.
COMPANY PHONE NUMBER: 604 546 0930
E-MAIL ADDRESS: twebber@vdz.ca
- INSPECTION OF ESC MEASURES, ASSESSMENT OF INSTALLED ESC MEASURES AND RECOMMENDATIONS OF MAINTENANCE AS REQUIRED.
- FAILURE TO REPORT WILL RESULT IN ISSUANCE ON A STOP WORK ORDER.

1. THE CONTRACTOR SHALL NOTIFY THE OWNER IF ANY WORK OUTSIDE THE CONSTRUCTION LIMITS (IF DEFINED ON THE EROSION CONTROL PLAN) IS REQUIRED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY WORK PERMITS OR EASEMENTS IF NEEDED TO COMPLETE SITEWORK.

2. THE ESC PLAN AND ALL OTHER SITEWORK, EXCAVATING, GRADING OPERATIONS, ETC., RELATED DOCUMENTS MUST BE KEPT AT THE SITE IN PLAIN VIEW DURING CONSTRUCTION.

3. CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES (BMP'S) AS REQUIRED BY THE ESC PLAN. THE CONTRACTOR SHALL OVERSEE THE INSPECTION & MAINTENANCE OF THE BMP'S AND EROSION PREVENTION FROM BEGINNING OF CONSTRUCTION AND UNTIL CONSTRUCTION IS COMPLETED, AND IS APPROVED BY ALL AUTHORITIES. ADDITIONAL BMP'S SHALL BE IMPLEMENTED AS DICTATED BY CONDITIONS AT NO ADDITIONAL COST TO OWNER THROUGHOUT ALL PHASES OF CONSTRUCTION.

4. BMP'S AND CONTROLS SHALL CONFORM TO PROVINCIAL OR LOCAL REQUIREMENTS OR MANUAL OF PRACTICE, AS APPLICABLE. CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY PERMITTING AGENCY OR OWNER.

5. EROSION CONTROL MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE AND PRIOR TO ANY SITEWORK OR SOIL DISTURBANCE. THIS INCLUDES ROCK CONSTRUCTION ENTRANCES, CONCRETE WASHING FACILITIES, AND SERVICE AREAS.

6. IF TEMPORARY SEDIMENT BASINS ARE REQUIRED OR PLANNED, THE CONTRACTOR IS RECOMMENDED TO CONSULT WITH THE ENGINEER TO DISCUSS BASIN OPERATION AND FUNCTION. BASINS SHALL BE FULLY OPERATIONAL BEFORE SITEWORK COMMENCES.

7. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS STOPPED FOR A PERIOD OF SEVEN DAYS OR MORE, OR HAS POTENTIAL TO MOBILIZE SEDIMENT TO DOWNSTREAM AREAS SHOULD BE COVERED IN ACCORDANCE WITH THE MUNICIPALITY REQUIREMENTS. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR DETERMINING THE PROPER COURSE OF ACTION FOR EXPOSED SOIL IN AREAS WHERE CONSTRUCTION ACTIVITY HAS STOPPED.

8. CONTRACTORS OR SUBCONTRACTORS WILL BE RESPONSIBLE FOR REMOVING SEDIMENT FROM CONVEYANCES & FROM TEMPORARY SEDIMENTATION BASINS THAT ARE TO BE USED AS PERMANENT WATER QUALITY MANAGEMENT BASINS. OPERATION OF SEDIMENT BASINS USED FOR CONSTRUCTION SHALL HAVE SUFFICIENT CAPACITY TO MEET NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEMS AND MUNICIPAL REQUIREMENTS AT NO ADDITIONAL COST TO THE OWNER.

9. ON-SITE & OFF-SITE SOIL STOCKPILE AND BORROW AREAS SHALL BE PROJECTED FROM EROSION AND SEDIMENTATION THROUGH IMPLEMENTATION OF BMP'S. STOCKPILE AND BORROW AREA LOCATIONS SHALL BE NOTED ON THE SITE MAP INCLUDING OFF-SITE AREAS AT NO ADDITIONAL COST TO THE OWNER.

10. TEMPORARY SOIL STOCKPILES SHOULD HAVE SILT FENCE OR OTHER EFFECTIVE SEDIMENT CONTROLS & SHOULD NOT BE PLACED IN AREAS THAT CAN RUNOFF UNCONTROLLED TO SURFACE WATERS, INCLUDING STORM WATER CONVEYANCES SUCH AS CURB & GUTTER SYSTEMS OR CONDUITS & DITCHES. NO SOIL STOCKPILES ON PAVED ASPHALT AREAS ALLOWED

11. ADDITIONAL INLET PROTECTION MEASURES SHALL BE IN PLACE ON ALL INSTALLED INLETS UNTIL FINAL STABILIZATION (OR SUBSTANTIAL COMPLETION) IS REACHED AT NO ADDITIONAL COST TO THE OWNER. INLET PROTECTION DEVICES SHALL BE PROPERLY SECURED AS TO PREVENT MOVEMENT BY SEDIMENT OR WATER.

12. MINIMUM SITE INSPECTION REQUIREMENTS
ALL MEASURES STATED ON THIS EROSION AND SEDIMENT CONTROL PLAN SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL PHASE COMPLETION. THE DESIGNATED CONTACT PERSON NOTED ON THIS PLAN MUST ROUTINELY INSPECT THE CONSTRUCTION ON SITE ONCE EVERY SEVEN DAYS DURING ACTIVE CONSTRUCTION AND WITHIN 24 HOURS AFTER A RAINFALL EVENT GREATER THAN 25 MM IN 24 HOURS. THE DESIGNATED PERSON SHOULD BE FAMILIAR WITH INSPECTION AND MAINTENANCE OF BEST MANAGEMENT PRACTICES. THE CONTRACTOR SHALL VERIFY ALL APPLICABLE BMP'S ARE CONTAINED IN AN INSPECTION LOG FOR THE PROJECT. AT A MINIMUM, THE LOG SHOULD MONITOR THE FOLLOWING EROSION AND SEDIMENTATION CONTROL MEASURES:

- ALL STORM DRAIN INLETS AND INLETS IMMEDIATELY DOWNSTREAM OF THE PROJECT LOCATION.
- ALL SEEDD AREAS
- SILT FENCES
- VEHICLE TRACKING OF SEDIMENT FROM THE CONSTRUCTION SITE
- THE TEMPORARY PARKING AND STORAGE AREAS
- OUTLET STRUCTURES IN THE TEMPORARY AND PERMANENT SEDIMENTATION BASINS
- POTENTIAL SOURCES OF MOBILIZED SOILS AND DUST
- WASHING AND CONSTRUCTION VEHICLE SERVICE FACILITIES

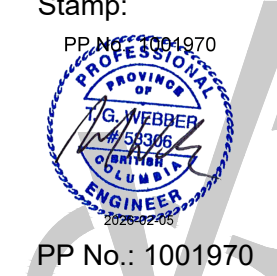
13. CONTRACTOR TO ENSURE DURING RAIN EVENTS THAT NO OFFSITE DISCHARGE OCCURS WITH SILT LADEN RUNOFF ENTERING NEARBY CATCH BASINS. CONTRACTOR TO CONTACT ESC SUPERVISOR IMMEDIATELY IF THIS SITUATION OCCURS. CONTRACTOR TO USE ADDITIONAL BEST MANAGEMENT PRACTICES TO CONTAIN RUNOFF ONSITE AS REQUIRED.

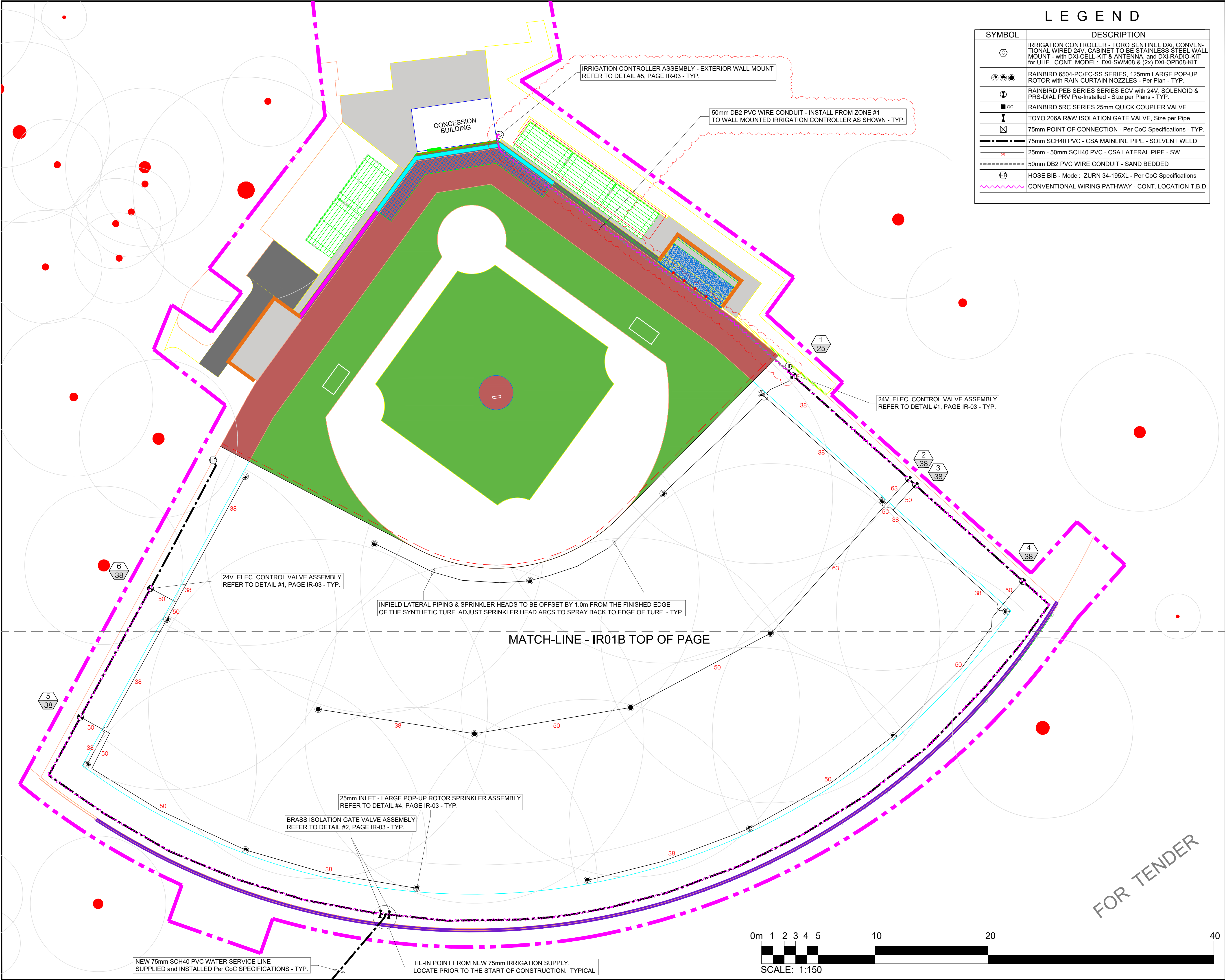
EROSION AND SEDIMENT CONTROL
PROGRAM IN EFFECT
BY CITY REGULATION BYLAW NO. 4403, 2013

EROSION AND SEDIMENT CONTROL FACILITIES HAVE BEEN INSTALLED ON THIS SITE AND ARE TO BE MAINTAINED FOR THE DURATION OF CONSTRUCTION TO CONTROL SITE EROSION AND REDUCE THE AMOUNT OF SEDIMENT ENTERING THE DRAINAGE SYSTEM AND CREEKS. THIS SITE IS MONITORED REGULARLY BY AN EROSION AND SEDIMENT CONTROL SUPERVISOR, AND MAY BE INSPECTED PERIODICALLY BY THE CITY OF COQUITLAM. IF THE SITE REQUIRES ATTENTION, PLEASE CONTACT:

TAYLOR WEBBER, P. ENG
604 546 0930
OR
CITY OF COQUITLAM CUSTOMER SERVICE HOTLINE 604-927-3500
REFERENCE SITE ADDRESS: 1046 BRUNETTE AVE

NOT FOR CONSTRUCTION

7	TW	Issued for Tender	Feb. 02, 2026
6	TW	Issued for Tender	Jan. 19, 2026
5	TW	Issued for Tender	Dec. 03, 2025
4	TW	Issued for Tender	Jul. 28, 2025
3	TW	Issued for 90% CD	Jun. 19, 2025
2	TW	Issued for 50% CD	Apr. 02, 2025
1	TW	Issued for 25% CD	Feb. 7, 2025
No.	By:	Description	Date
REVISIONS TABLE FOR DRAWINGS			
© Copyright reserved. This drawing and design is the property of VDZ+A and may not be reproduced or used for other projects without permission.			
No.	By:	Description	Date
REVISIONS TABLE FOR SHEET			
Project: MACKIN PARK BALLFIELDS			
Location: 1046 BRUNETTE AVENUE COQUITLAM, B.C.			
Drawn:	Stamp:		
AB			
Checked:	PP No.: 1001970		
TW			
Approved:	Original Sheet Size:		
TW	24"x36"		
Scale:	CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCY TO THE CONSULTANT BEFORE PROCEEDING. ALL DRAWINGS AND SPECIFICATIONS ARE THE EXCLUSIVE PROPERTY OF THE OWNER AND MUST BE RETURNED AT THE COMPLETION OF THE WORK. ALL REVISIONS TO BE MADE ON DRAWINGS MUST NOT BE REPRODUCED FOR CONSTRUCTION UNLESS LABELED ISSUED FOR TENDER/CONSTRUCTION.		
NTS			



LEGEND	
SYMBOL	DESCRIPTION
	IRRIGATION CONTROLLER - TORO SENTINEL DXi. CONVENTIONAL WIRED 24V. CABINET TO BE STAINLESS STEEL WALL MOUNT - with DXi-CELL-KIT & ANTENNA, and DXi-RADIO-KIT for UHF. CONT. MODEL: DXi-SWM08 & (2x) DXi-OPB08-KIT
	RAINBIRD 6504-PC/FC-SS SERIES, 125mm LARGE POP-UP ROTOR with RAIN CURTAIN NOZZLES - Per Plan - TYP.
	RAINBIRD PEB SERIES SERIES ECV with 24V. SOLENOID & PRS-DIAL PRV Pre-Installed - Size per Plans - TYP.
	RAINBIRD 5RC SERIES 25mm QUICK COUPLER VALVE
	TOYO 206A R&W ISOLATION GATE VALVE, Size per Pipe
	75mm POINT OF CONNECTION - Per CoC Specifications - TYP.
	75mm SCH40 PVC - CSA MAINLINE PIPE - SOLVENT WELD
	25mm - 50mm SCH40 PVC - CSA LATERAL PIPE - SW
	50mm DB2 PVC WIRE CONDUIT - SAND BEDDED
	HOSE BIB - Model: ZURN 34-195XL - Per CoC Specifications
	CONVENTIONAL WIRING PATHWAY - CONT. LOCATION T.B.D.

VDZ+A

LANDSCAPE ARCHITECTURE | CIVIL ENGINEERING | URBAN FORESTRY

FORT LANGLEY STUDIO MOUNT PLEASANT STUDIO

101-9181 Church St 102-355 Kingsway

Fort Langley, BC Vancouver, BC

V1M 1A0 V5T 3J7

www.vdz.ca 604-882-0024

D n A

Irrigation Design and Consulting

Lake Country, B.C.

250 - 212 - 8852

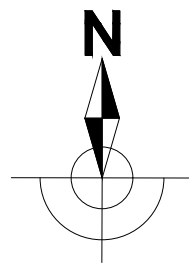
gndesign@icloud.com

7	DEP	Issued for Tender	2026-02-02
6	DEP	Issued for Tender Review	2026-01-14
5	DEP	Re-Issued for Final 100% Review	2025-12-03
4	DEP	Issued for Final 100% Review	2025-12-02
3	DEP	Issued for 100% Review	2025-11-20
2	DEP	Issued for 95% Review	2025-08-05
1	DEP	Re-Issued for 90% Review	2025-06-20
0	DEP	Issued for 90% Review	2025-06-19
No.	By:	Description	Date
REVISIONS TABLE FOR DRAWINGS			
Copyright reserved. This drawing and design is the property of VDZ+A and may not be reproduced or used for other projects without permission.			
5	DEP	Updated Water Source Notes	2026-01-14
4	DEP	Revised Infield Turf Edge Radius	2025-12-03
3	DEP	Updated Water Source Location	2025-12-02
	By:	Description	Date
REVISIONS TABLE FOR SHEET			
Project: Mackin Park Ball Diamonds City of Coquitlam			
Location: 1046 Brunette Ave. Coquitlam, BC			
Drawn:	Stamp:		
D.E.P.			
Checked:			
AM			
Approved:	Original Sheet Size:		
AM	24"x36"		
Scale:	CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCY TO THE CONSULTANT BEFORE PROCEEDING. ALL DRAWINGS AND SPECIFICATIONS ARE THE EXCLUSIVE PROPERTY OF THE OWNER AND MUST BE RETURNED AT THE COMPLETION OF THE WORK. ALL REWORKING/REPAIRS/REWORK DRAWINGS MUST NOT BE PRICED FOR CONSTRUCTION UNLESS LABELED ISSUED FOR TENDER/CONSTRUCTION.		
1:150			

Drawing Title: MACKIN PARK BALL DIAMOND RENEWAL IRRIGATION SYSTEM DESIGN

Drawing #: IR-01A

VDZ Project #: PR2024-20



6	DEP	Issued for Tender	2026-02-02
5	DEP	Issued for Tender Review	2026-01-14
4	DEP	Issued for Final 100% Review	2025-12-02
3	DEP	Issued for 100% Review	2025-11-20
2	DEP	Issued for 95% Review	2025-08-05
1	DEP	Re-Issued for 90% Review	2025-06-20
0	DEP	Issued for 90% Review	2025-06-19
No.	By:	Description	Date

REVISIONS TABLE FOR DRAWINGS

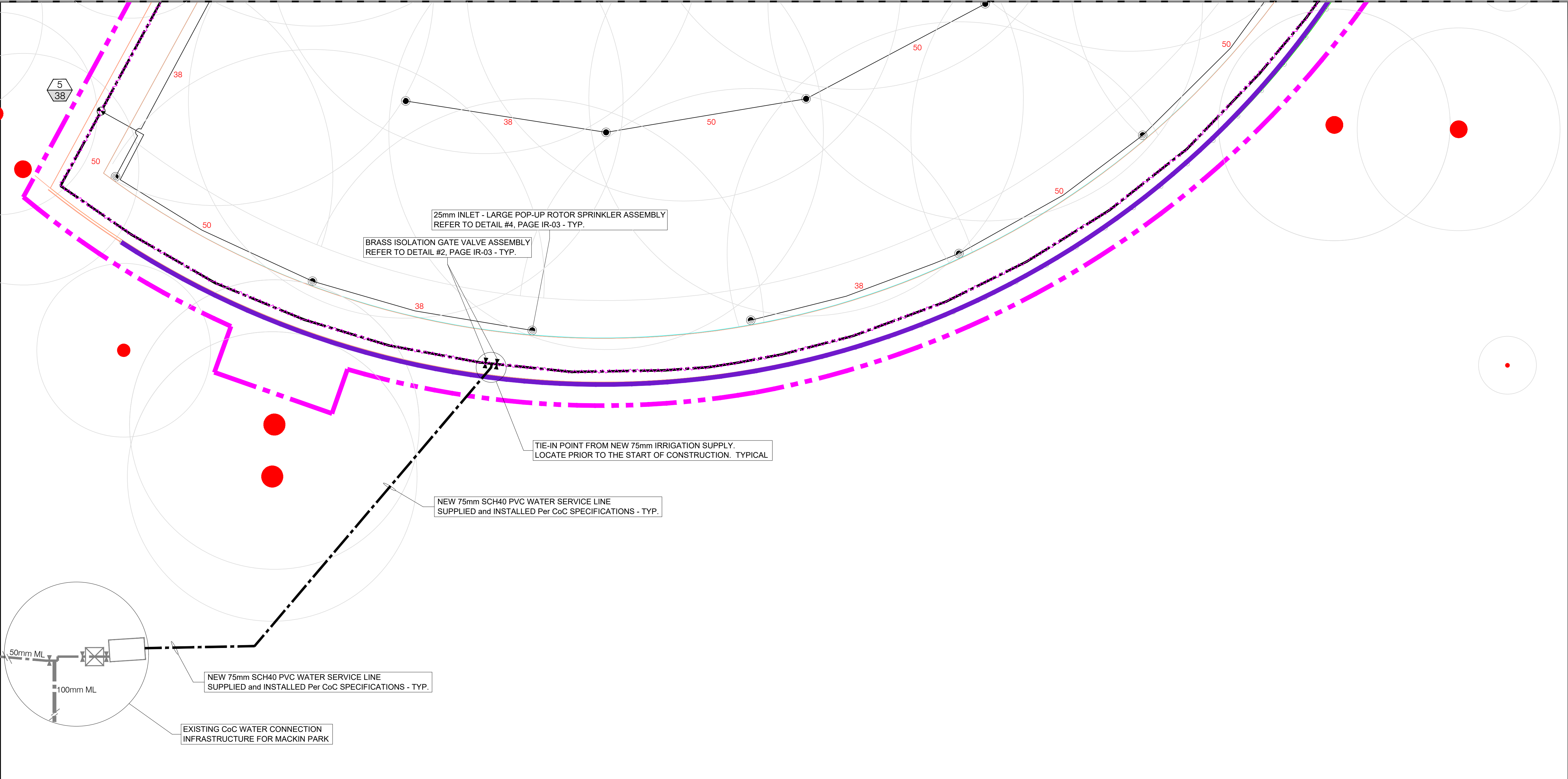
4	DEP	Updated Water Source Notes	2026-01-14
3	DEP	Updated Water Source Location	2025-12-02
2	DEP	Updated Base Plan & Layout	2025-11-20
	By:	Description	Date

REVISIONS TABLE FOR SHEET

Project:
Mackin Park Ball Diamonds
City of Coquitlam

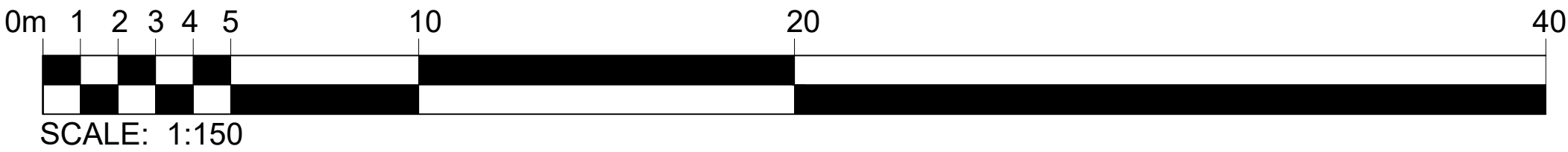
Location:
1046 Brunette Ave.
Coquitlam, BC

Drawn: D.E.P.	Stamp:
Checked: AM	
Approved: AM	Original Sheet Size: 24"x36"
Scale: 1:150	CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCY TO THE CONSULTANT BEFORE PROCEEDING. ALL DRAWINGS AND SPECIFICATIONS ARE THE EXCLUSIVE PROPERTY OF THE OWNER AND MUST BE RETURNED AT THE COMPLETION OF THE WORK. ALL REZONING/PP/PA/HABP DRAWINGS MUST NOT BE PRICED FOR CONSTRUCTION UNLESS LABELED ISSUED FOR TENDER/CONSTRUCTION.



LEGEND

SYMBOL	DESCRIPTION
	IRRIGATION CONTROLLER - TORO SENTINEL DXI, CONVENTIONAL WIRED 24V, CABINET TO BE STAINLESS STEEL WALL MOUNT - with DXI-CELL-KIT & ANTENNA, and DXI-RADIO-KIT for UHF. CONT. MODEL: DXI-SWM08 & (2x) DXI-OPB08-KIT
	RAINBIRD 6504-PC/FC-SS SERIES, 125mm LARGE POP-UP ROTOR with RAIN CURTAIN NOZZLES - Per Plan - TYP.
	RAINBIRD PEB SERIES SERIES ECV with 24V, SOLENOID & PRS-DIAL PRV Pre-Installed - Size per Plans - TYP.
	RAINBIRD 5RC SERIES 25mm QUICK COUPLER VALVE
	TOYO 206A R&W ISOLATION GATE VALVE, Size per Pipe
	75mm POINT OF CONNECTION - Per CoC Specifications - TYP.
	75mm SCH40 PVC - CSA MAINLINE PIPE - SOLVENT WELD
	25mm - 50mm SCH40 PVC - CSA LATERAL PIPE - SW
	50mm DB2 PVC WIRE CONDUIT - SAND BEDDED
	HOSE BIB - Model: ZURN 34-195XL - Per CoC Specifications
	CONVENTIONAL WIRING PATHWAY - CONT. LOCATION T.B.D.



FOR TENDER

MACKIN PARK BALL DIAMOND RENEWAL
IRRIGATION SYSTEM DESIGN

Drawing Title:

VDZ Project #:
PR2024-20

Drawing #:
IR-01B

IRRIGATION INSTALLATION NOTES

1. ALL IRRIGATION PRODUCTS, MATERIALS AND INSTALLATIONS ARE TO FOLLOW THE CITY OF COQUITLAM IRRIGATION STANDARD SPECIFICATIONS INCLUDED WITH THE DESIGN PACKAGE.

2. THE IRRIGATION SYSTEM DESIGN IS BASED ON A MAXIMUM OF (60) U.S.G.P.M. & (80) PSI AVAILABLE AT THE POINT OF CONNECTION. THE CONTRACTOR IS TO VERIFY THE SAME AND NOTIFY THE OWNER'S REPRESENTATIVE IN WRITING PRIOR TO START OF WORK.

3. THE IRRIGATION SYSTEM DESIGN BASED UPON A MIN. WEEKLY REQUIREMENT OF 38mm. PEAK ET OCCURRING IN JULY/AUG OF 5.20mm.

4. PRECIPITATION RATES FOR TURF AREAS IS BASED UPON AN AVERAGE OF NOZZLE SIZES. ALWAYS USE MATCHED NOZZLES.

5. DESIGN DAILY RUN TIMES ARE BASED UPON A (5) FIVE DAY per WEEK WATERING SCHEDULE. BASED ON (1) ONE YEAR GROW IN PERIOD.

6. A MAX. WATER WINDOW OF (3) THREE Hrs. IS REQ'D FOR THE IRRIGATION SYSTEM AS DESIGNED.

7. POP UP SPRINKLER SPACING IS NOT TO EXCEED 50% ACCOUNTING FOR A MINIMUM 4 MPH WIND FACTOR.

8. PIPING SHOWN IS FOR SCHEMATIC PURPOSES. NO CROSSING OF ANY PIPING IS ALLOWED. MAXIMUM 2 PIPES per TRENCH SIDE BY SIDE WITH Min. 50mm CLEARANCE.

9. INSTALL ALL CONVENTIONAL 24V. WIRING TO A MIN. BURY DEPTH OF 450mm WITH PIPING COVER or 600mm WITHOUT PIPING COVER. BED ALL WIRE WITH 150mm CLEAN, ROCK FREE SAND. ALL CONTROL WIRE TO BE TWU-40 #14 GAUGE (CONSISTENTLY ONE COLOR per ZONE), COMMON TO BE TWU-40 #12 GAUGE (CONSISTENTLY WHITE ONLY)

10. INSTALL ALL ELECTRICAL CONDUIT AS per PLANS. USE CSA NON-METALLIC DB2 PVC CONDUIT - GREY IN COLOR. SIZES as SHOWN ON DESIGN.

11. INSTALL ALL ELECTRIC CONTROL VALVES (ECV's) WITH MINIMUM 50mm CLEARANCE AROUND THE VALVE AND BETWEEN THE VALVE AND THE VALVE BOX. ENSURE ADEQUATE (Min. 50mm) CLEARANCE BETWEEN THE BOTTOM OF THE EVC AND THE DRAIN ROCK FOR MAINTENANCE PURPOSES.
12. ALL WIRE SPLICES ARE TO BE MADE WITH 3M-DBY/R WATER PROOF CONNECTIONS AND TO BE LOCATED AT AN ECV OR IN A VALVE BOX.

13. THE WIRE RUNS ARE TO BE INSTALLED WITH A Min. OF 600mm LENGTH OF WIRE COILED UP SLACK AT EVERY CHANGE OF DIRECTION, IN WIRE SPLICE BOXES AND AT ALL CONNECTIONS MADE TO VARIOUS ELECTRICALLY CONTROLLED COMPONENTS.

14. ALL SPRINKLERS ARC's AND RADIUS's ARE TO BE ADJUSTED TO MINIMIZE OVER SPRAY ONTO ADJACENT HARD SURFACES.

15. ALL SPRINKLERS TO BE INSTALLED WITH SCH40 PVC TRIPLE PVC SWING JOINTS AND SCH80 PVC NIPPLES.

16. INSTALL ALL SCH40 PVC MAINLINE PIPE AT A MINIMUM OF 600mm BURY DEPTH - TOP OF PIPE. BED PIPE WITH 150mm OF CLEAN, ROCK FREE SAND.

17. INSTALL ALL SCH40 PVC LATERAL PIPING AT A MINIMUM OF 450mm BURY DEPTH - TOP OF PIPE. BED PIPE WITH 100mm OF CLEAN, ROCK FREE SAND.

18. ASSEMBLY & INSTALLATION OF ALL COMPONENTS ARE TO FOLLOW THE DETAILS & SPECIFICATIONS LISTED ON PAGE IR-03.

19. THE CONTRACTOR IS TO VERIFY THE LOCATION(S) OF ALL ON-SITE UTILITIES. RESTORATION OF DAMAGED UTILITIES SHALL BE MADE AT THE CONTRACTOR'S EXPENSE TO THE SATISFACTION OF THE CONTRACT ADMINISTRATOR and or THE OWNER'S REPRESENTATIVE.

20. THE CONTRACTOR IS TO INSTALL SLEEVING FOR IRRIGATION PIPING AND ELECTRICAL WIRING UNDER ALL WALKWAYS, DRIVEWAYS, WALLS (ROCK or BRICK). WATER LINES AND ELECTRICAL WIRES SHALL NOT SHARE THE SAME SLEEVE. MINIMUM SLEEVE TO BE 2x PIPE DIA.

21. THE CONTRACTOR MUST BE QUALIFIED TO INSTALL LARGE SCALE, COMMERCIAL IRRIGATION SYSTEMS. THE CONTRACTOR MUST HAVE A MINIMUM OF (5) FIVE YEARS INSTALLATION EXPERIENCE AND BE A MEMBER IN GOOD STANDING WITH THE IRRIGATION INDUSTRY ASSOCIATION of B.C. (I.I.A.B.C.)

22. THE CONTRACTOR IS RESPONSIBLE FOR CHECKING AND CONFIRMING ALL DIMENSIONS or ELEVATIONS SHOWN ON DRAWINGS. WHERE ANY DISCREPANCIES OCCUR, THE CONTRACTOR SHALL INFORM THE CONTRACT ADMINISTRATOR IMMEDIATELY.

IRRIGATION SCHEDULE & ZONE DATA

Mackin Park Ball Diamond							BASED ON PEAK ET DEMANDS FOR JULY/AUGUST ET = 5.2mm/DAY			
STA. #	ZONE DESCRIPTION	SPRINKLER MAKE, MODEL & TYPE	NOZZLE TYPE	ECV SIZE	DESIGN PSI ECV SETTING	DESIGN FLOW U.S.G.P.M.	PRECIPITATION RATE in/hr	RUN DAYS	PROGRAM DAYS	RUN TIME Minutes
1	LARGE POP-UP ROTOR-PC	RAINBIRD 6504-SAM-PRS	#14	38mm	70	45.0	0.82	5	EVEN	22
2	LARGE POP-UP ROTOR-FC	RAINBIRD 6504-SAM-PRS	#14	38mm	70	60.0	0.82	5	EVEN	22x2
3	LARGE POP-UP ROTOR-PC	RAINBIRD 6504-SAM-PRS	#14	38mm	70	45.0	0.82	5	EVEN	22
4	LARGE POP-UP ROTOR-PC	RAINBIRD 6504-SAM-PRS	#14	38mm	70	45.0	0.82	5	EVEN	22
5	LARGE POP-UP ROTOR-PC	RAINBIRD 6504-SAM-PRS	#14	38mm	70	30.0	0.82	5	EVEN	22
6	LARGE POP-UP ROTOR-PC	RAINBIRD 6504-SAM-PRS	#14	38mm	70	45.0	0.82	5	EVEN	22
							TOTAL DAILY RUN TIME per CYCLE = 154 Minutes / 2.6 Hours			

NOTE(S): 1. SCHEDULE TO BE USED FOR 1 YEAR GROW IN PERIOD ONLY



6	DEP	Issued for Tender	2026-02-02
5	DEP	Issued for Tender Review	2026-01-14
4	DEP	Issued for Final 100% Review	2025-12-02
3	DEP	Issued for 100% Review	2025-11-20
2	DEP	Issued for 95% Review	2025-08-05
1	DEP	Re-Issued for 90% Review	2025-06-20
0	DEP	Issued for 90% Review	2025-06-19
No.	By:	Description	Date
REVISIONS TABLE FOR DRAWINGS			
© Copyright reserved. This drawing and design is the property of VDZ+A and may not be reproduced or used for other projects without permission.			
1	DEP	Updated Zone Data	2025-11-20
	By:	Description	Date

REVISIONS TABLE FOR SHEET	
Project: Mackin Park Ball Diamonds City of Coquitlam	
Location: 1046 Brunette Ave. Coquitlam, BC	
Drawn: D.E.P.	Stamp:
Checked: AM	
Approved: AM	Original Sheet Size: 24"x36"
Scale: N.T.S.	CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCY TO THE CONSULTANT BEFORE PROCEEDING. ALL DRAWINGS AND SPECIFICATIONS ARE THE EXCLUSIVE PROPERTY OF THE OWNER AND MUST BE RETURNED AT THE COMPLETION OF THE WORK. ALL REZONING/DPP/PA/HABP DRAWINGS MUST NOT BE PRIED FOR CONSTRUCTION UNLESS LABELED ISSUED FOR TENDER/CONSTRUCTION.

FOR TENDER

