

PROJECT DIRECTORY / CONTACT INFORMATION

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SURVEYOR
REFER TO TOPOGRAPHIC SURVEY PREPARED BY THE CITY OF COQUITLAM, ENGINEERING AND PUBLIC WORKS FOR PROPERTY LINES AND NATURAL GRADE TOPOGRAPHY SURVEY DATE: JULY 15, 2020

RECOMMENDATIONS
GEOTECHNICAL
RECOMMENDATIONS REPORT DATED:
NOVEMBER 28, 2018 (DATE OF REVISION: SEPTEMBER 3, 2020)
IN-SITU INFILTRATION TESTING REPORT DATED: JUNE 19, 2020
ADDITIONAL INPUT ON SUBSURFACE DRAINAGE DATED: JULY 23, 2020 (DATE OF REVISION: SEPTEMBER 3, 2020)
THURBER ENGINEERING LTD.
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DAVID TARA, P.ENG.
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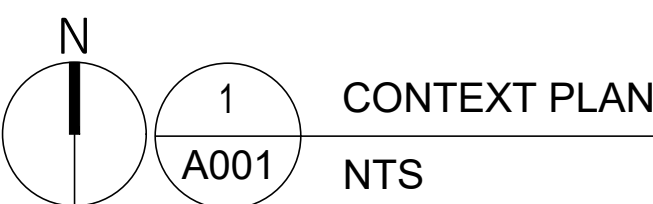
ARBORIST / ENVIRONMENTAL
ARBORIST REPORT DATED: JANUARY 24, 2020
ENKON ENVIRONMENTAL
207-5550 152 STREET, SURREY BC V3S 5J9
MATTHEW TUTSCH, BSc., MRM, RFP, RPP, MCP

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A001	COVER SHEET, DRAWING LISTS & PROJECT INFO
A003	SCHEDULE OF FINISHES & NOTES
A006	SITE PLAN
A007	CONTEXT ELEVATIONS
A101	FLOOR PLAN
A102	REFLECTED CEILING PLAN
A103	ROOF PLAN
A201	BUILDING ELEVATIONS - SOUTH & EAST
A202	BUILDING ELEVATIONS - NORTH & WEST
A301	BUILDING SECTIONS
A302	BUILDING SECTIONS
A704	INTERIOR ELEVATIONS
MECHANICAL DRAWING INDEX	
M-1	COVER SHEET & DRAWING LIST
M-1	MECHANICAL SPECIFICATIONS
M-2	MECHANICAL PLAN - HVAC
P-1	PLUMBING PLAN - SANITARY
P-2	PLUMBING PLAN - WATER
P-3	PLUMBING PLAN - STORM (ROOF)
P-4	PLUMBING PLAN - SUMP
ELECTRICAL DRAWING INDEX	
E-0	COVER SHEET & LEGEND
E-1	NOTES
E-2	SITE PLAN LAYOUT
E-3	POWER LAYOUT
E-4	LIGHTING LAYOUT
E-5	SECURITY LAYOUT
E-6	SCHEDULES AND DETAILS
OPTIONAL ITEMS:	
THE ITEMS INDICATED BELOW ARE TO BE INCLUDED IN THE TENDER AS INDIVIDUAL AND SEPARATE COST ADD ITEMS TO THE CONTRACT. AFTER THE CONTRACT HAS BEEN AWARDED, PRIOR TO THE COMMENCEMENT OF CONSTRUCTION AND AS APPROVED BY THE CLIENT AND / OR ARCHITECT, ONE OR MORE OF THESE ITEMS MAY BE ADDED TO THE CONTRACT.	
ITEM 1:	DOOR DDT - FOLDING DOOR W/ 6 GLASS PANELS AND FROSTED PRIVACY FILM, SEE DOOR ELEVATIONS AND SCHEDULES
ITEM 2:	MRS-1 - MANUAL ROLLER SHADES, SEE RCP
ITEM 3:	CAN-1 - EXTERIOR METAL CANOPIES ABOVE DOORS D04, D05 & D06 AND ASSOCIATED STRUCTURAL POSTS TO SUPPORT EACH CANOPY, SEE SCHEDULE OF FINISHES, RCP & STRUCT.
ITEM 4:	RS-1 - GALVANIZED METAL PANEL, ROOF SCREEN, POSTS AND ASSOCIATED PW-1 - PARAPET ASSEMBLY, SEE STRUCT., BUILDING ASSEMBLIES, SCHEDULE OF FINISHES, ROOF PLAN, ARCHITECTURAL ELEVATIONS AND DETAILS <ul style="list-style-type: none"> IF THIS ITEM IS IDENTIFIED AS NOT TO BE ADDED TO THE CONTRACT, PARAPET WALL 2 WILL BE USED THROUGHOUT THE PROJECT
ITEM 5:	CON-1 - ARCHITECTURAL BOARDFORM CONCRETE AND CS-1 CONCRETE SEALER, SEE SCHEDULE OF FINISHES AND ARCHITECTURAL ELEVATIONS <ul style="list-style-type: none"> IF THIS ITEM IS IDENTIFIED AS NOT TO BE ADDED TO THE CONTRACT, CON-3 - ARCHITECTURAL CONCRETE TO REPLACE ALL LOCATIONS WHERE CON-1 IS INDICATED ON THE DRAWINGS
ITEM 6:	LANDSCAPE BOULDER WALL AND ASSOCIATED PERFORATED DRAIN TILE AND DRAIN TILE SUMP - COVER, SEE LANDSCAPE, MECH. AND SITE PLAN
ITEM 7:	IRRIGATION SYSTEM, SEE LANDSCAPE
ITEM 8:	ADDITIONAL TREES, SEE LANDSCAPE
ITEM 9:	CD-1 - CEDAR SHINGLES <ul style="list-style-type: none"> IF THIS ITEM IS IDENTIFIED TO BE ADDED TO THE CONTRACT, CD-1 - CEDAR SHINGLES TO REPLACE ALL LOCATIONS WHERE HAR-1 - JAMES HARDIE SHINGLE SIDING IS INDICATED

PROJECT ADDRESS			
3537 PRINCETON AVENUE, COQUITLAM, BC			
EXISTING LOT ZONING			
RT-2 ZONE			
AUTHORITY HAVING JURISDICTION			
CITY OF COQUITLAM			
PROJECT DESCRIPTION			
DISCOVERY CENTRE + COFFEE HOUSE			
1 STOREY, SPRINKLERED, NEW CONSTRUCTION, PROPOSED FOR REZONING			
DEVELOPMENT STATISTICS			
TOTAL LOT AREA	30,793 SQ.F (2860.8 SQ.M)		
DISCOVERY CENTRE	GFA 1556 SQ.F (145 SQ.M)		
COFFEE HOUSE	GFA 1740 SQ.F (162 SQ.M)		
COMMON AREA	GFA 422 SQ.F (39 SQ.M)		
MECH./ELEC. ROOM (NOT INCLUDED IN GFA)	116 SQ.F (11 SQ.M)		
TOTAL PROPOSED	GFA 3718 SQ.F (346 SQ.M)		
PROPOSED FLOOR SPACE RATIO			
346 SQ.M (BUILDING GFA) / 2860.8 SQ.M (LOT AREA) = 0.1209 FSR			
PROPOSED BUILDING COVERAGE			
346 SQ.M (BUILDING GFA) / 2860.8 SQ.M (LOT AREA) = 12.09%			
PROPOSED LOT COVERAGE			
1113 SQ.M (BUILDING & HARDSCAPING) / 2860.8 SQ.M (LOT AREA) = 38.9%			
PROPOSED SETBACKS (REFER TO A006 - SITE PLAN)			
FRONT YARD (FACING PRINCETON)	4.00 M (13'-1 1/2")		
EXTERIOR SIDE YARD (FACING DAVID)	4.30 M (14'-1 1/2")		
REAR YARD (IRREGULAR LOT)	9.83 M (32'-3")		
OFF-STREET PARKING			
ASSEMBLY USE CONSIDERATION:			
346 SQ.M (GFA) / 30 SQ.M = 12			
PARKING REQUIRED: 12 PARKING STALLS			
OR			
COMMERCIAL OFFICE / RESTAURANT CONSIDERATION:			
346 SQ.M (GFA) / 40 SQ.M = 9			
PARKING REQUIRED: 9 PARKING STALLS			
PARKING PROVIDED: 12 STALLS (10 STANDARD PARKING SPACES, 1 SMALL CAR PARKING SPACES AND 1 ACCESSIBLE PARKING SPACE)			
OFF-STREET LOADING			
LOADING PROVIDED: 1 LOADING SPACE			
OFF-STREET BICYCLE PARKING			
LONG-TERM BICYCLE PARKING REQUIRED: 0 (PROPOSED BUILDING GROSS FLOOR AREA LESS THAN 1000 SQ.M)			
LONG-TERM BICYCLE PARKING PROVIDED: 0			
SHORT-TERM BICYCLE PARKING REQUIRED: 6			
SHORT-TERM OFF-STREET BICYCLE PARKING PROVIDED: 6			
COMMERCIAL GARBAGE / RECYCLING AREA REQUIREMENTS			
MINIMUM RECYCLING AREA REQUIRED:			
346 SQ.M (GFA) x 0.015 SQ.M = 5.19 SQ.M			
PROPOSED RECYCLING AREA: 20.08 SQ.M			
ABBREVIATIONS			
AFF	ABOVE FINISHED FLOOR	REG	REGULAR
B/O	BOTTOM OF	RWL	RAINFALL LEADER
B.C.S.	BABY CHANGE STATION	S.A.M.	SELF-ADHERED MEMBRANE
CANLTD	CANTELEVERED	SF	SQUARE FEET
CB	CATCH BASIN	SLP	SLOPE
CL	CENTERLINE	SM	SQUARE METER
CO	CLEANOUT	SPEC	SPECIFICATIONS
CONC	CONCRETE	SPECS	SPECIFICATIONS
CONTD	CONTINUED	SQ.FT.	SQUARE FEET
CW	CURTAIN WALL	SQ.M.	SQUARE METER
DET	COMES WITH	STRUCT.	STRUCTURAL
DET	DETAIL	T	THICKNESS
DIA	DIAMETER	TBC	TO BE CONFIRMED
DIM	DIMENSION	TBD	TO BE DETERMINED
DN	DOWN	T.O.	TOP OF
DWS	DRAWINGS	T/O	TOP OF
(E)	EXISTING	T.O.C.	TOP OF CURB
E.Q.	TOP OF EXISTING GRADE	T.O.C.W.	TOP OF CURB WALL
ELEC.	ELECTRICAL	T.O.M.	TOP OF CURB
E.Q.	EQUAL	T.O.R.	TOP OF RETAINING WALL
EV	ELECTRIC VEHICLE	T.O.W.	TOP OF WALL
EXIST.	EXISTING	TPD	TOILET PAPER DISPENSER
EXT.	EXTERIOR	TYP.	TYPICAL
FD	FLOOR DRAIN / AREA DRAIN FIRE DEPARTMENT CONNECTION	U.N.O.	UNLESS NOTED OTHERWISE
FR	FIRE RESISTANCE RATING	U/S	UNDERSIDE
FSR	FLOOR SPACE RATIO	W	WIDTH
GARB.	GARBAGE	W/	WITH
GC	GENERAL CONTRACTOR	VP	VAPOUR PERMEABLE
GFA	GROSS FLOOR AREA		
GWB	GYPSUM WALL BOARD		
H	HEIGHT		
HIC	ACCESSIBLE		
HR	HOUR		
OPT	OPTIONAL		
MECH.	MECHANICAL		
MH	MANHOLE		
MIN.	MINUTE or MINIMUM		
MTL	METAL		
(N)	NOT		
N/A	NOT APPLICABLE		
N.I.C.	NOT IN CONTRACT		
NTS	NOT TO SCALE		
PERF.	PERFORATED		
P.G.	TOP OF PROPOSED GRADE		
PRE-FIN	PRE-FINISHED		
RCP	REFLECTED CEILING PLAN		
RD	ROOF DRAIN		

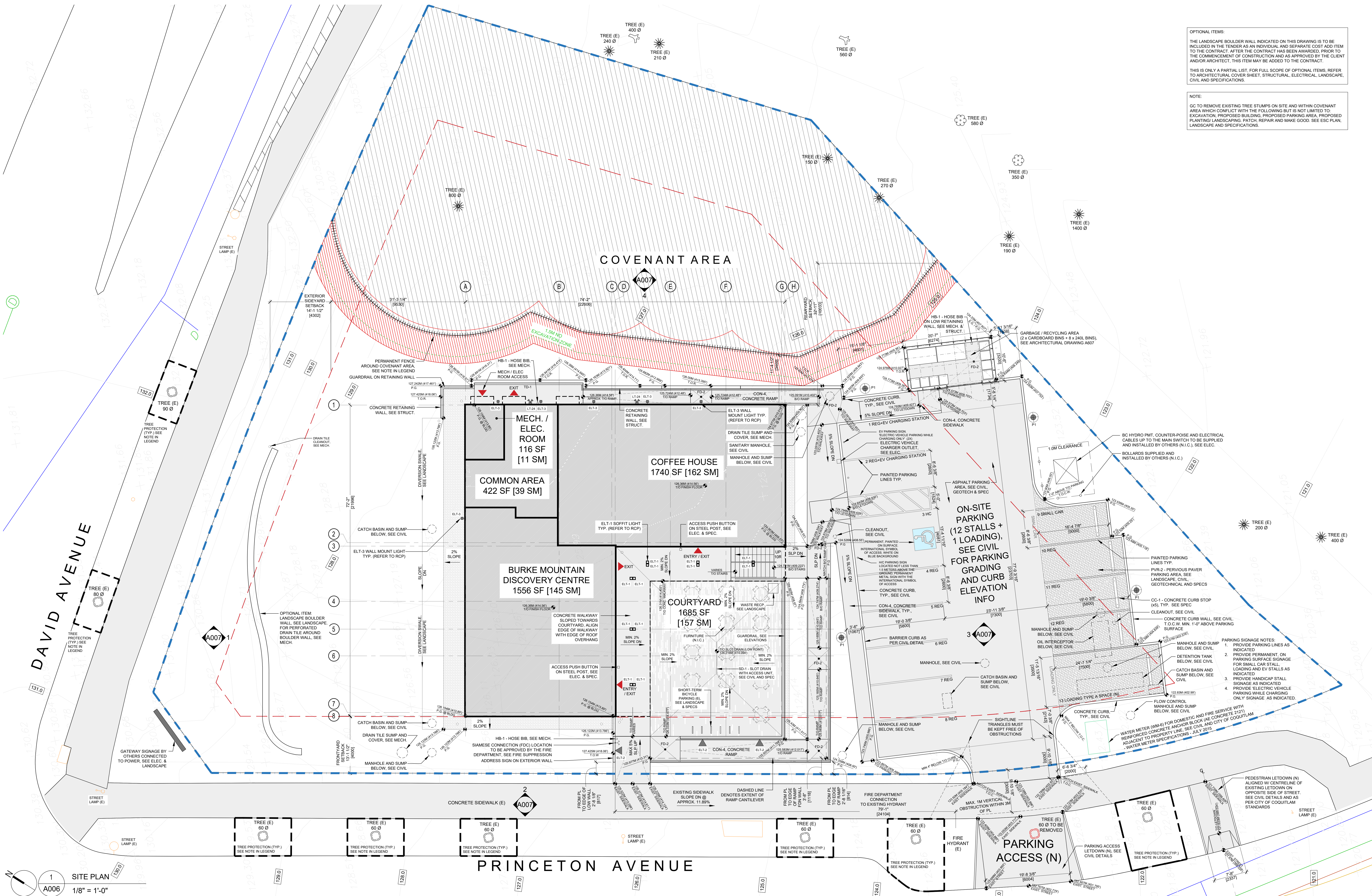


2020.05.26	RE-ISSUED FOR 75% DESIGN REVIEW
2020.06.30	ISSUED FOR 95% DESIGN REVIEW
2020.07.15	ISSUED FOR BUILDING PERMIT
2020.08.14	ISSUED FOR CONSULTANT REVIEW
2020.08.26	ISSUED FOR RFP



3 PROPOSED PERSPECTIVES (FOR ILLUSTRATIVE PURPOSES ONLY)

STA



OPTIONAL ITEMS:
THE LANDSCAPE BOULDER WALL INDICATED ON THIS DRAWING IS TO BE INCLUDED IN THE TENDER AS AN INDIVIDUAL AND SEPARATE COST ADD ITEM TO THE CONTRACT. AFTER THE CONTRACT HAS BEEN AWARDED, PRIOR TO THE COMMENCEMENT OF CONSTRUCTION AND AS APPROVED BY THE CLIENT AND/OR ARCHITECT, THIS ITEM MAY BE ADDED TO THE CONTRACT.

THIS IS ONLY A PARTIAL LIST. FOR FULL SCOPE OF OPTIONAL ITEMS, REFER TO ARCHITECTURAL COVER SHEET, STRUCTURAL, ELECTRICAL, LANDSCAPE, CIVIL AND SPECIFICATIONS.

NOTE:
GC TO REMOVE EXISTING TREE STUMPS ON SITE AND WITHIN COVENANT AREA WHICH CONFLICT WITH THE FOLLOWING BUT IS NOT LIMITED TO: EXCAVATION, PROPOSED BUILDING, PROPOSED PARKING AREA, PROPOSED PLANTING, LANDSCAPING, PATCH, REPAIR AND MAKE GOOD. SEE ESC PLAN, LANDSCAPE AND SPECIFICATIONS.

1 SITE PLAN
A006
1/8" = 1'-0"

LEGEND

(E) DENOTES EXISTING

PROPERTY LINE

PERMITTED SETBACK

BUILDING OUTLINE

ASPHALT PARKING / CONCRETE WALKWAY

PERVIOUS PAVEMENT PARKING AREA

LINE OF OVERHANG ABOVE

EXISTING CONTOURS IN METERS

EXISTING TREES TO BE RETAINED, SEE ARBORIST REPORT & LANDSCAPE

EXISTING TREE TO BE REMOVED, SEE ARBORIST REPORT & LANDSCAPE

TREE PROTECTION FENCING AROUND EXISTING BOULEVARD TREES, FENCING TO EXTEND 2M MIN. FROM EACH STEM OF TREE AND PRESERVE THE ENTIRETY OF THE BOULEVARD FROM EXISTING CURBSIDE TO EXISTING SIDEWALK. SEE LANDSCAPE, ARBORIST REPORT, SPECS AND CITY OF COQUITLAM PROTECTIVE FENCING SPECIFICATIONS FOR MORE INFORMATION.

2M COVENANT SETBACK

1.5M NO EXCAVATION ZONE

RESTRICTIVE COVENANT

PERMANENT FENCE AROUND COVENANT AREA TO BE ERECTED PRIOR TO CONSTRUCTION COMMENCEMENT. SEE SPECS & TERMS OF INSTRUMENT - PART 2 SECTION 219 COVENANT AND STATUTORY RIGHT OF WAY WINDFIRM / WIND FORCE LINE PROTECTION DOCUMENT FOR FENCE REQUIREMENTS

EXISTING / PROPOSED SPOT ELEVATION @ SPECIFIED LOCATIONS. SEE ABBREVIATIONS ON THIS SHEET IN CONJUNCTION WITH SPOT ELEVATIONS INDICATED ON SITE PLAN

COURTYARD PAVERS, SEE GEOTECH, LANDSCAPE & SPEC. PAVERS SLOPED AT MIN. 2% TOWARDS DRAIN

EXTERIOR POLE LIGHT, SEE ELEC. & SPEC.

EXTERIOR SOFFIT LIGHT, SEE ELEC. & SPEC. AND RCP

EXTERIOR RECESSED LED STEP LIGHT, SEE ELEC. & SPEC.

EXTERIOR WALL MOUNTED LIGHT, SEE ELEC., SPEC. AND RCP

EXTERIOR WALL MOUNTED EMERGENCY LIGHT WITH BATTERY, SEE ELEC., SPEC.

ABBREVIATIONS (SEE A001):

EXIST. EXISTING

B/O BOTTOM OF

E.G. TOP OF EXISTING GRADE

P.G. TOP OF PROPOSED GRADE

T/O TOP OF

T.O.C. TOP OF CURB

T.O.C.W. TOP OF CURB WALL

T.O.R. TOP OF RETAINING WALL

T.O.W. TOP OF WALL

NOTE: GC TO VERIFY ALL ELEVATIONS WITH APPLICABLE CONSULTANTS PRIOR TO START OF CONSTRUCTION

DATE REVISION

2020.01.24	ISSUED FOR 25% DESIGN REVIEW
2020.02.28	ISSUED FOR 50% DESIGN REVIEW
2020.03.06	ISSUED FOR 50% DESIGN REVIEW R1
2020.03.09	ISSUED FOR REZONING
2020.04.03	ISSUED FOR 65% DESIGN REVIEW
2020.04.17	ISSUED FOR 75% DESIGN REVIEW
2020.04.28	RE-ISSUED FOR REZONING
2020.05.26	RE-ISSUED FOR 75% DESIGN REVIEW
2020.06.30	ISSUED FOR 95% DESIGN REVIEW
2020.07.15	ISSUED FOR BUILDING PERMIT
2020.08.14	ISSUED FOR CONSULTANT REVIEW
2020.08.26	ISSUED FOR RFP
2020.09.14	ISSUED FOR RFP ADDENDUM #2

DATE REVISION

2020.09.18	RE-ISSUED FOR BUILDING PERMIT
2020.09.22	ISSUED FOR RFP ADDENDUM #3
2020.09.29	ISSUED FOR RFP ADDENDUM #4
2020.09.29	RE-ISSUED FOR BUILDING PERMIT
2020.10.02	ISSUED FOR COFFEE HOUSE RFP

ARCHITECT

STA

SEAL

PROJECT

BURKE MOUNTAIN DISCOVERY CENTRE + COFFEE HOUSE

3537 PRINCETON AVENUE

COQUITLAM, BC

TITLE

SITE PLAN

SCALE

SEE DWG

PROJECT NUMBER

STA-1916

DRAWN BY

NJ/SC

DRAWING NUMBER

A006

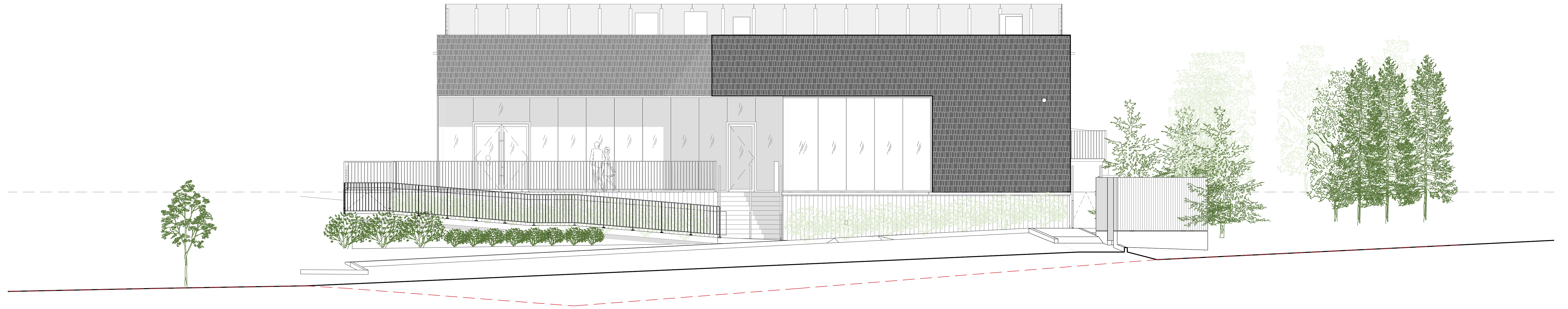
1 NORTH CONTEXT ELEVATION
A007 3/16" = 1'-0"



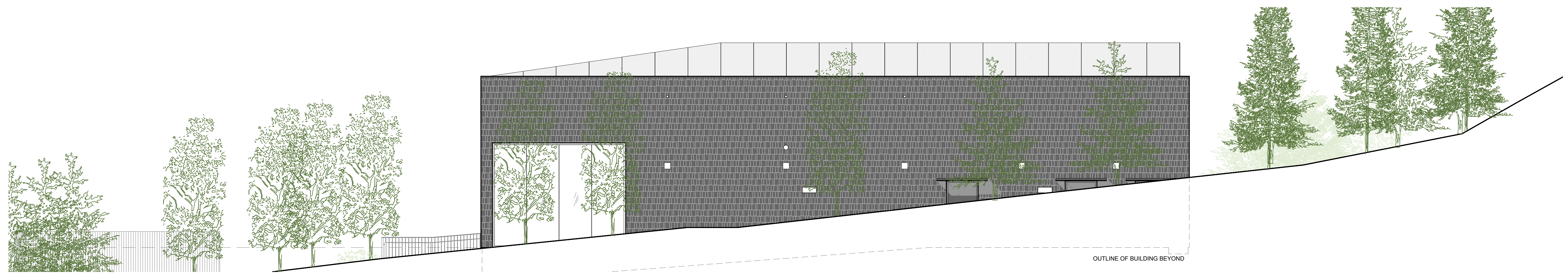
2 WEST CONTEXT ELEVATION
A007 3/16" = 1'-0"



3 SOUTH CONTEXT ELEVATION
A007 3/16" = 1'-0"



4 EAST CONTEXT ELEVATION
A007 3/16" = 1'-0"

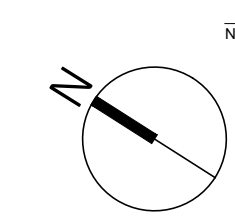
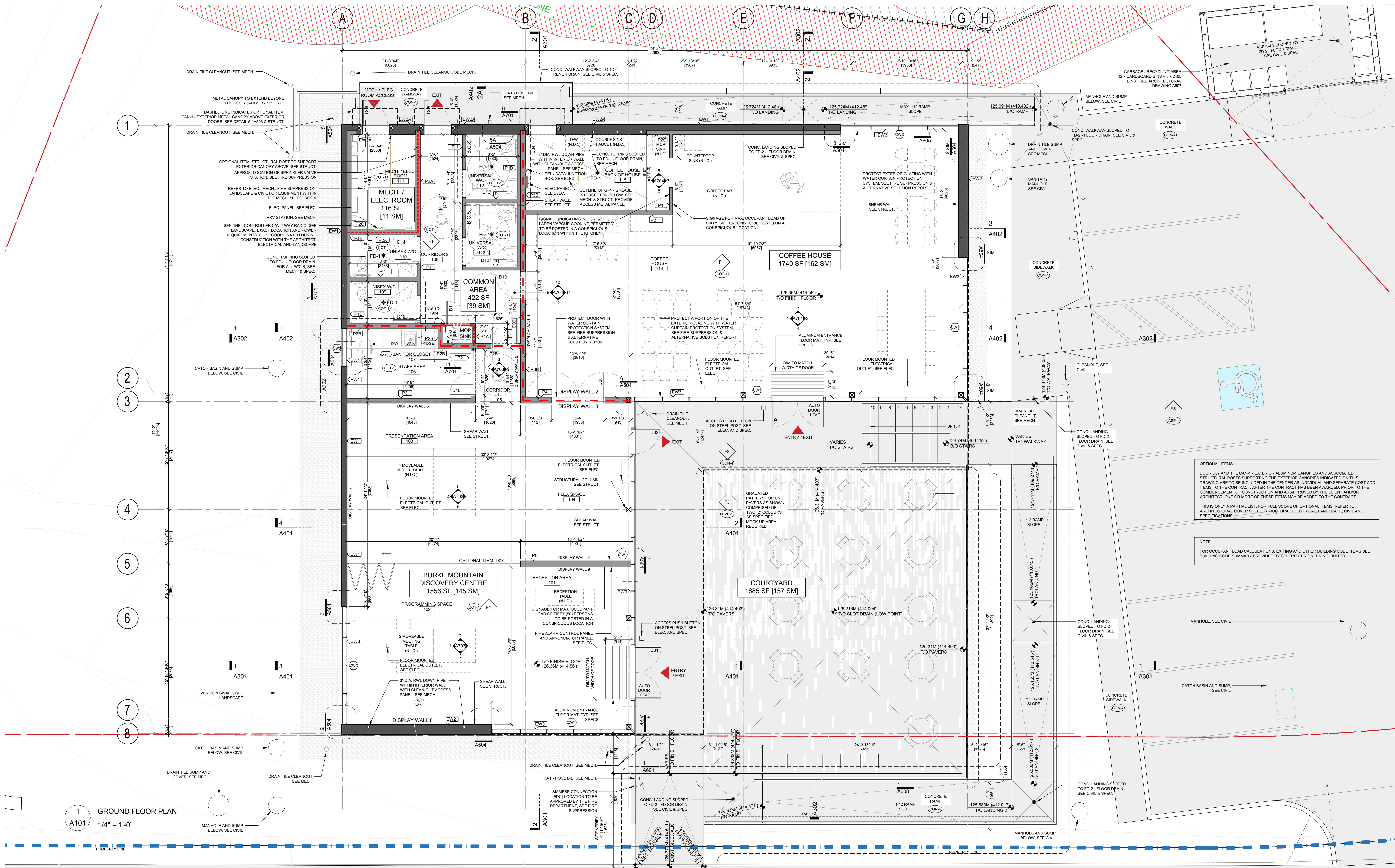


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2020.07.15	ISSUED FOR BUILDING PERMIT
2020.08.14	ISSUED FOR CONSULTANT REVIEW
2020.08.26	ISSUED FOR RFP

DATE	REVISION
2020.10.02	ISSUED FOR COFFEE HOUSE RFP

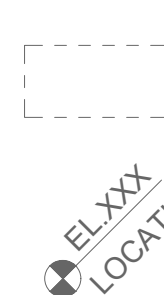
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PROJECT
**BURKE MOUNTAIN DISCOVERY
CENTRE + COFFEE HOUSE**
3537 PRINCETON AVENUE
COQUITLAM, BC
TITLE
CONTEXT ELEVATIONS
SCALE
SEE DWG
PROJECT NUMBER
STA-1916
DRAWN BY
NL/SC
DRAWING NUMBER
A007



LEGEND AND NOTES:

(E)	DENOTES EXISTING	1 HR FIRE SEPARATION
---	PROPERTY LINE	45 MIN. FIRE SEPARATION
---	EXISTING / PROPOSED SPOT ELEVATION	ZERO HR FRR [SMOKE ASSEMBLY]
---	PERMITTED SETBACK	



ALL MILLWORK AND FIXTURES INDICATED WITHIN THE COFFEE HOUSE, COFFEE HOUSE BACK OF HOUSE AND DISCOVERY CENTRE IS NOT IN CONTRACT (UNLESS NOTED OTHERWISE) AND IS FOR ILLUSTRATIVE PURPOSES ONLY. SEE MECHANICAL FOR MECHANICAL ROUGH-IN INFORMATION

EXISTING / PROPOSED SPOT ELEVATION, SEE SITE PLAN FOR MORE INFORMATION



GRIDLINES WHICH INDICATE EXTERIOR EXTENTS OF THE PROPOSED BUILDING ARE ALIGNED WITH EXTERIOR EDGE OF FOUNDATION WALLS AND EXTERIOR EDGE OF EXTERIOR WALL SHEATHING. SEE WALL SECTIONS AND STRUCTURAL FOR MORE INFORMATION.

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2020.09.22	ISSUED FOR RFP ADDENDUM #3
2020.10.02	ISSUED FOR COFFEE HOUSE RFP

ARCHITECT

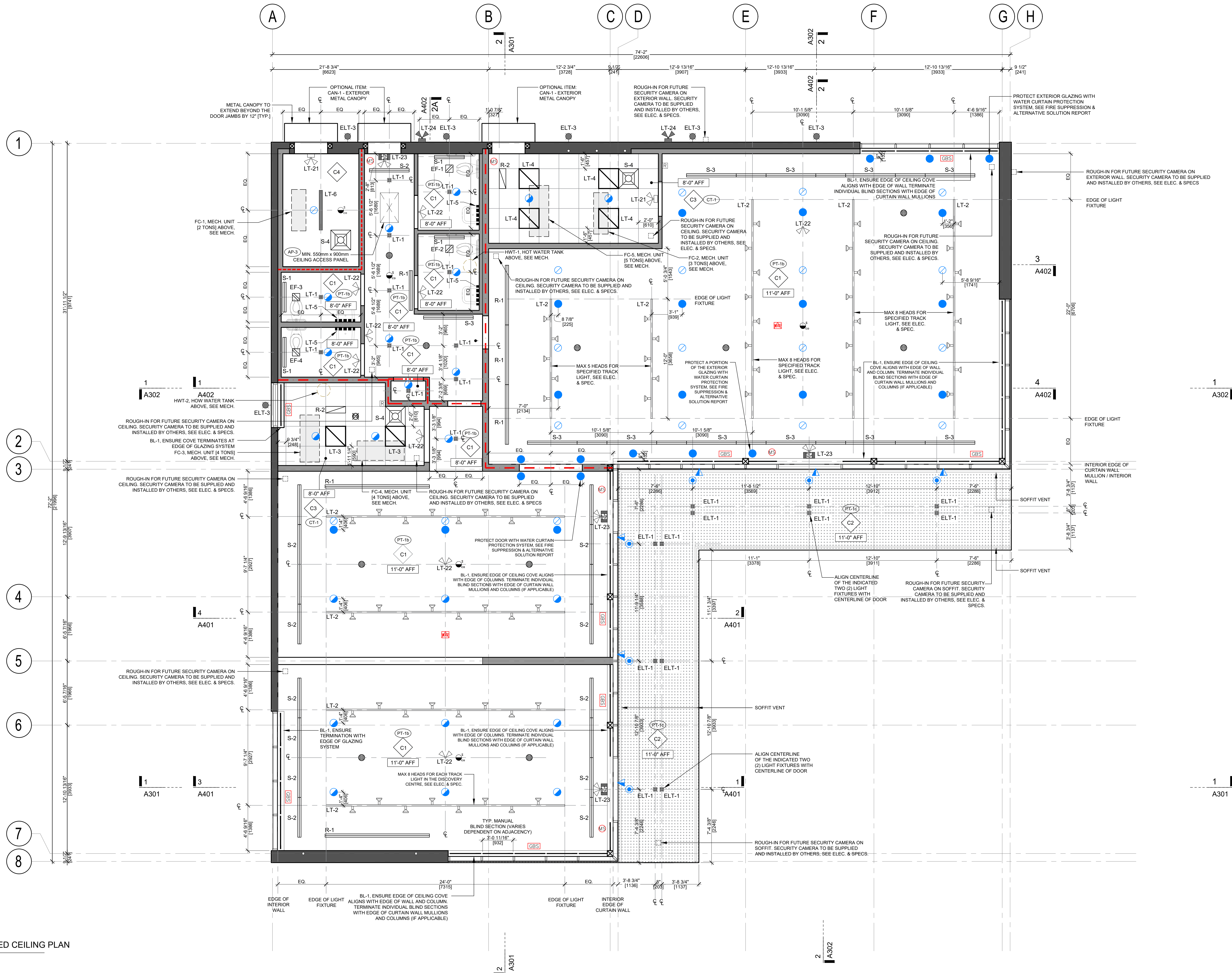
STA

SEAL

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BURKE MOUNTAIN DISCOVERY CENTRE + COFFEE HOUSE
3537 PRINCETON AVENUE
COQUITLAM, BC
TITLE
FLOOR PLAN

SCALE
SEE DWG
PROJECT NUMBER
STA-1916
DRAWN BY
N/JSC
A101



DATA / SECURITY LEGEND (SEE ELEC. & SPEC)

NOTE: SUPPLY AND INSTALL ALL CONDUITS C/W PULL STRING, AND JUNCTION BOXES FOR LOWER VOLTAGE EQUIPMENT AT ROUGH-IN LOCATIONS. ALL EQUIPMENT LISTED BELOW ARE FOR REFERENCE ONLY AND SHALL BE SUPPLIED AND INSTALLED BY OTHERS UNDER THE CLIENT / ARCHITECT'S APPROVAL.

GBS GLASS BREAKER SENSOR
FLUSH CEILING SPEAKERS
WIRELESS ACCESS POINT
SMOKE & CARBON MONOXIDE DETECTOR
MOTION SENSOR
OCCUPANCY SENSOR
FIRE ALARM RELAY

FIRE SUPPRESSION (SEE FIRE SUPPRESSION DRAWINGS)

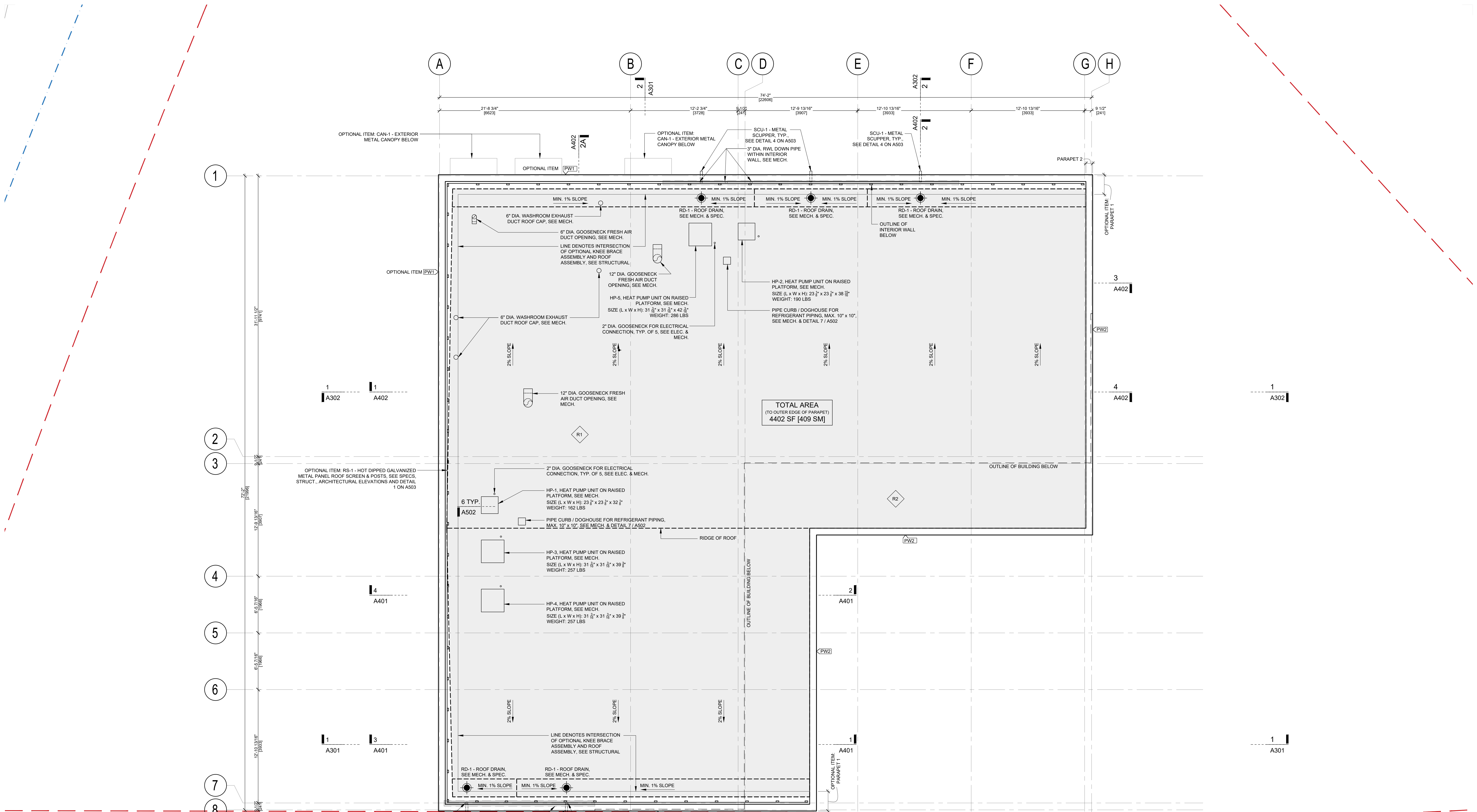
SPRINKLER HEAD
SPRINKLER HEAD
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OPTIONAL ITEMS:
MANUAL ROLLER SHADES AND CAN-1 - EXTERIOR ALUMINUM CANOPIES INDICATED ON THIS DRAWING ARE TO BE INCLUDED IN THE TENDER AS AN INDIVIDUAL AND SEPARATE COST ADD ITEM TO THE CONTRACT. AFTER THE CONTRACT HAS BEEN AWARDED, PRIOR TO THE COMMENCEMENT OF CONSTRUCTION AND AS APPROVED BY THE CLIENT AND/OR ARCHITECT, ONE OR MORE OF THESE ITEMS MAY BE ADDED TO THE CONTRACT.
THIS IS ONLY A PARTIAL LIST. FOR FULL SCOPE OF OPTIONAL ITEMS, REFER TO ARCHITECTURAL COVER SHEET, STRUCTURAL, ELECTRICAL, LANDSCAPE, CIVIL AND SPECIFICATIONS.

1 REFLECTED CEILING PLAN
A102 1/4" = 1'-0"

NOTES				NOTES				NOTES				NOTES			
CEILING FINISH / FIRE RATED ASSEMBLY AND MISC. LEGEND:				LIGHTING / ELEC. LEGEND (SEE ELEC. & SPEC)				MECHANICAL LEGEND (SEE MECH. & SPEC)				DATE / REVISION			
C1	GWB CEILING - PAINTED WHITE	1 HR FIRE SEPARATION		ELT-1	EXTERIOR POT LIGHT	LT-5	SURFACE MOUNTED LED STRIP LIGHT	EF	EXHAUST FAN	2020.02.28	ISSUED FOR 50% DESIGN REVIEW				
C2	DENGLASS EXTERIOR SHEATHING SOFFIT APPLICATION - PAINTED WHITE	45 MIN. FIRE SEPARATION		ELT-3	EXTERIOR WALL MOUNTED LED LIGHTING FIXTURE	LT-6	LED STRIP LIGHT	R-1	LINEAR RETURN GRILLE (SIZE VARIES)	2020.03.06	ISSUED FOR 50% DESIGN REVIEW R1				
C3	INTERIOR 2'x2' TILE CEILING (T-BAR)	ZERO HR FIRE SEPARATION [SMOKE ASSEMBLY]		LT-1	INTERIOR POT LIGHT	LT-21	EMERGENCY LIGHT WITH BATTERY	R-2	EGGCRATE RETURN GRILLE	2020.03.09	ISSUED FOR REZONING				
C4	NO CEILING FINISH, EXPOSED WOOD TRUSSES	CEILING COVE WITH OPTIONAL ITEM: MANUAL ROLLER SHADES, SEE COVER SHEET, SPECS & DETAILS		LT-2	INTERIOR TRACK LIGHT	LT-22	EMERGENCY LIGHT C/W 2 HEADS	S-1	LINEAR SLOT DIFFUSER (SIZE VARIES)	2020.04.03	ISSUED FOR 65% DESIGN REVIEW				
				LT-3	INTERIOR 2' X 2' T-BAR CEILING MOUNT FIXTURE (OFFICE)	LT-23	EXIT SIGN C/W EMERGENCY LIGHT	S-2	DIFFUSERS THAT ARE UNLABELED ARE FOR INFILL ONLY AND NOT CONNECTED TO HVAC SYSTEM, SEE MECH.)	2020.04.17	ISSUED FOR 75% DESIGN REVIEW				
				LT-4	INTERIOR 2' X 2' T-BAR CEILING MOUNT FIXTURE (KITCHEN)	LT-24	EXTERIOR WALL MOUNTED EMERGENCY LIGHT WITH BATTERY	S-3	SQUARE DIFFUSER	2020.05.26	RE-ISSUED FOR 75% DESIGN REVIEW				
								S-4		2020.06.30	ISSUED FOR 95% DESIGN REVIEW				
								FC	MECH. UNIT CONCEALED IN CEILING, SEE MECH. AND STRUCT.	2020.07.15	ISSUED FOR BUILDING PERMIT				
										2020.08.14	ISSUED FOR CONSULTANT REVIEW				
										2020.08.26	ISSUED FOR RFP				
										2020.09.14	ISSUED FOR RFP ADDENDUM #2				

ARCHITECT	STA	SENG TSOV ARCHITECT INC. 200-1075 WEST SECOND AVE. VANCOUVER, BC V6J 1H3 INFO@STA-OFFICE.CA
PROJECT	BURKE MOUNTAIN DISCOVERY CENTRE + COFFEE HOUSE	
3537 PRINCETON AVENUE		
COQUITLAM, BC		
TITLE	REFLECTED CEILING PLAN	
SCALE	SEE DWG	
PROJECT NUMBER	STA-1916	
DRAWN BY	NJ/SC	
DRAWING NUMBER	A102	



1 ROOF PLAN
1/4" = 1'-0"

NOTES

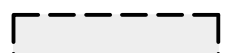
LEGEND:

PROPERTY LINE

SETBACK LINE



RD ROOF DRAIN, SEE MECH.



EXTENT OF LOW SLOPE ROOF, SEE A303 FOR ROOF ASSEMBLY



OUTLINE OF INTERIOR WALL BELOW

NOTES

OPTIONAL ITEMS:
THE RS-1 - HOT DIPPED GALVANIZED METAL PANEL ROOF SCREEN & POSTS, PW-1 - PARAPET WALL 1 AND CAN-1 - EXTERIOR ALUMINUM CANOPIES INDICATED ON THIS DRAWING ARE TO BE INCLUDED IN THE TENDER AS INDIVIDUAL AND SEPARATE COST ADD ITEMS TO THE CONTRACT. AFTER THE CONTRACT HAS BEEN AWARDED, PRIOR TO THE COMMENCEMENT OF CONSTRUCTION AND AS APPROVED BY THE CLIENT AND/OR ARCHITECT, ONE OR MORE OF THESE ITEMS MAY BE ADDED TO THE CONTRACT.
IF THE HOT DIPPED GALVANIZED METAL PANEL ROOF SCREEN & POSTS AND PARAPET WALL 1 (PW1) ARE IDENTIFIED TO BE NOT ADDED TO THE CONTRACT, PARAPET WALL 2 (PW2) WILL BE USED THROUGHOUT THE PROJECT.
THIS IS ONLY A PARTIAL LIST. FOR FULL SCOPE OF OPTIONAL ITEMS, REFER TO ARCHITECTURAL COVER SHEET, STRUCTURAL, ELECTRICAL, LANDSCAPE, CIVIL AND SPECIFICATIONS.

DATE	REVISION
2020.02.28	ISSUED FOR 50% DESIGN REVIEW
2020.03.06	ISSUED FOR 50% DESIGN REVIEW R1
2020.03.09	ISSUED FOR REZONING
2020.04.03	ISSUED FOR 65% DESIGN REVIEW
2020.04.17	ISSUED FOR 75% DESIGN REVIEW
2020.04.28	RE-ISSUED FOR REZONING
2020.05.26	RE-ISSUED FOR 75% DESIGN REVIEW
2020.06.30	ISSUED FOR 95% DESIGN REVIEW
2020.07.15	ISSUED FOR BUILDING PERMIT
2020.08.14	ISSUED FOR CONSULTANT REVIEW
2020.08.26	ISSUED FOR RFP

DATE	REVISION
2020.09.18	RE-ISSUED FOR BUILDING PERMIT
2020.10.02	ISSUED FOR COFFEE HOUSE RFP

ARCHITECT

STA

SEAL

SENG TSOV ARCHITECT INC.
200-1075 WEST SECOND AVE.
VANCOUVER, BC V6L 1H3
INFO@STA-OFFICE.CA

PROJECT

BURKE MOUNTAIN DISCOVERY
CENTRE + COFFEE HOUSE
3537 PRINCETON AVENUE
COQUITLAM, BC

TITLE

ROOF PLAN

SCALE

SEE DWG

PROJECT NUMBER

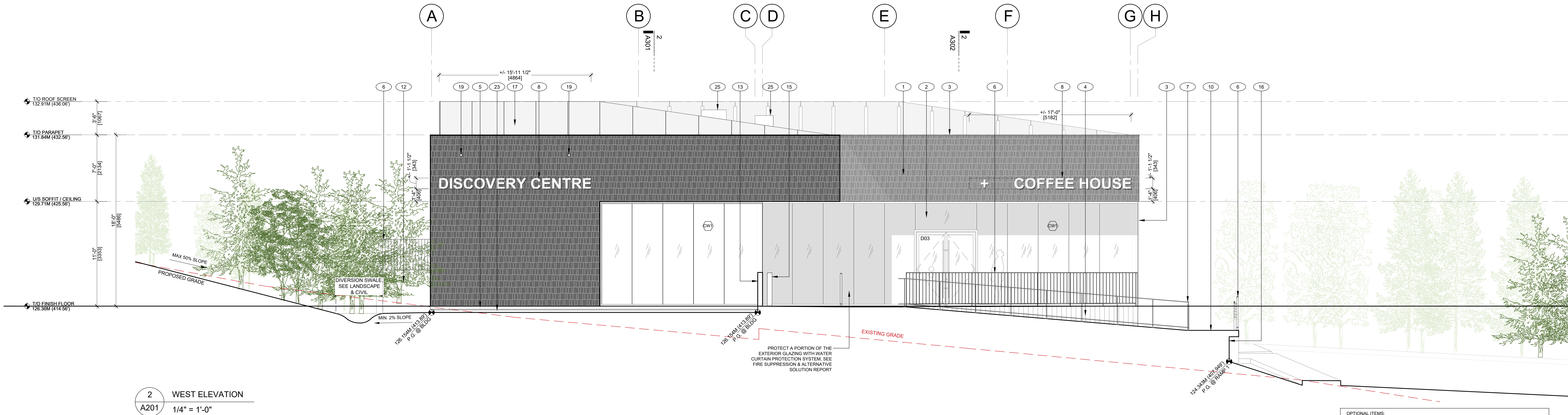
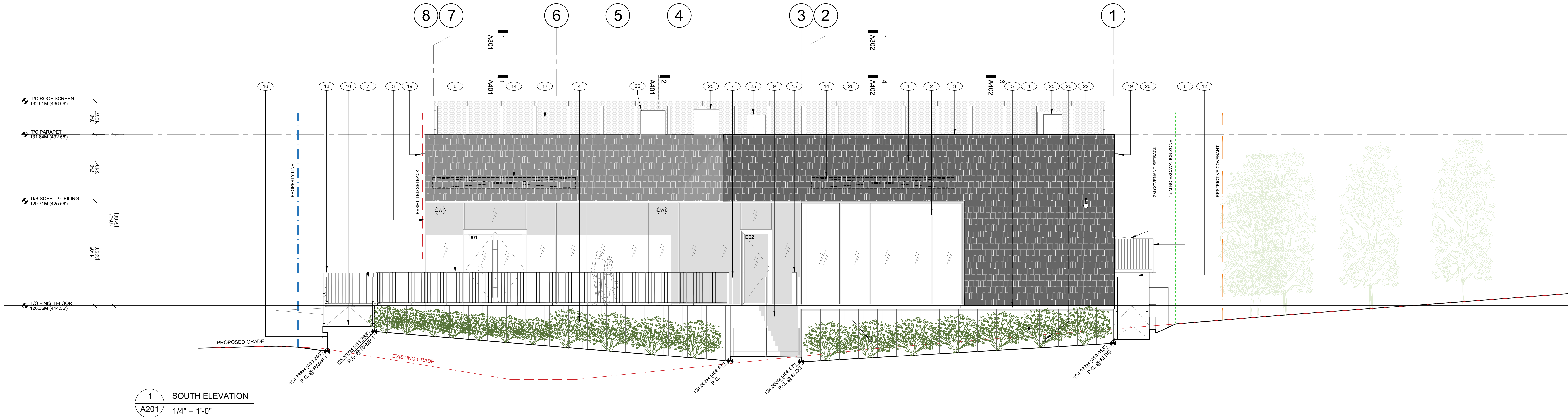
STA-1916

DRAWN BY

NJ/SC

DRAWING NUMBER

A103



NOTES
PROPOSED EXTERIOR ELEVATION LEGEND (SEE ARCHITECTURAL SCHEDULE OF FINISHES AND OPTIONAL ITEMS LISTED ON THE COVER SHEET):

- | | | |
|--|--|---|
| 1 HAR-1 - HARDIE SHINGLE | 6 GR-1 - HOT DIPPED GALVANIZED METAL GUARDRAIL | 11 DR-1 - METAL DOOR & DOOR FRAME |
| 2 GL-1 - CURTAIN WALL | 7 HR-1 - HOT DIPPED GALVANIZED METAL HANDRAIL | 12 CON-3 - LANDSCAPE CONCRETE RETAINING WALL, SEE STRUCT. |
| 3 MTL-1 - PREFINISHED METAL FLASHING | 8 AMBIENT / LOW LIGHT HALO-LIT CHANNEL LETTER SIGNAGE (BY OTHERS), SEE ELEC. EXACT WORDING TO BE CONFIRMED | 13 CON-3 - EXTERIOR CONCRETE WALL (LOW PARTITION) |
| 4 OPTIONAL ITEM: CON-1 - ARCHITECTURAL BOARDFORM CONCRETE RETAINING / FOUNDATION WALL, SEE STRUCT. | 9 CON-4 - CONCRETE STAIRS, SEE STRUCT. | 14 PROVIDE CONNECTION TO POWER FOR FUTURE USE, SEE ELEC. |
| 5 MTL-2 - PREFINISHED METAL FLASHING | 10 CON-4 - CONCRETE RAMP, SEE STRUCT. | 15 PP-1 - 6" x 6" STAINLESS STEEL METAL POST W/ ACCESSIBLE PUSH BUTTON, SEE ELEC. |

NOTES

- | | | |
|--|---|---|
| 16 CON-3 - CONCRETE RETAINING WALL UNDER RAMP, SEE STRUCT. | 21 HB-1 - HOSE BIB, SEE DETAIL 6 ON A503, DETAIL 5A ON A504 & MECH. | 26 WATERPROOF DUPLEX RECEPTACLE, SEE ELEC. & SPEC. |
| 17 OPTIONAL ITEM: RS-1 - HOT DIPPED GALVANIZED METAL PANEL ROOF SCREEN & POSTS, SEE SPEC & STRUCT. | 22 ROUGH-IN FOR SECURITY CAMERA, SEE ELEC. & SPECS. | 27 LT-24 - EXTERIOR WALL MOUNTED EMERGENCY LIGHT WITH BATTERY, SEE ELEC. SPEC. AND RCP. |
| 18 ELT-3 - EXTERIOR WALL MOUNTED LED, LIGHTING FIXTURE, SEE ELEC. | 23 CON-3 - CONCRETE FOUNDATION WALL, SEE STRUCT. | |
| 19 SCU-1 - METAL ROOF SCUPPER, SEE DETAIL 4 ON A503 | 24 GL-3 - CURTAIN WALL 'WINDOW' | |
| 20 OPTIONAL ITEM: CAN-1 - EXTERIOR METAL CANOPY, SEE STRUCT. & DETAIL 5 ON A503 | 25 HEAT PUMP UNIT ON RAISED PLATFORM, SEE MECH. & SPEC. | |

DATE	REVISION
2020.01.24	ISSUED FOR 25% DESIGN REVIEW
2020.02.28	ISSUED FOR 50% DESIGN REVIEW
2020.03.06	ISSUED FOR 50% DESIGN REVIEW R1
2020.03.09	ISSUED FOR REZONING
2020.04.03	ISSUED FOR 65% DESIGN REVIEW
2020.04.17	ISSUED FOR 75% DESIGN REVIEW
2020.04.28	RE-ISSUED FOR REZONING
2020.05.26	RE-ISSUED FOR 75% DESIGN REVIEW
2020.06.30	ISSUED FOR 95% DESIGN REVIEW
2020.07.15	ISSUED FOR BUILDING PERMIT
2020.08.14	ISSUED FOR CONSULTANT REVIEW
2020.08.26	ISSUED FOR RFP

DATE	REVISION
2020.09.18	RE-ISSUED FOR BUILDING PERMIT
2020.10.02	ISSUED FOR COFFEE HOUSE RFP

NOTE:
FOR SPATIAL SEPARATION INFORMATION SEE BUILDING CODE SUMMARY PROVIDED BY CELERITY ENGINEERING LIMITED.

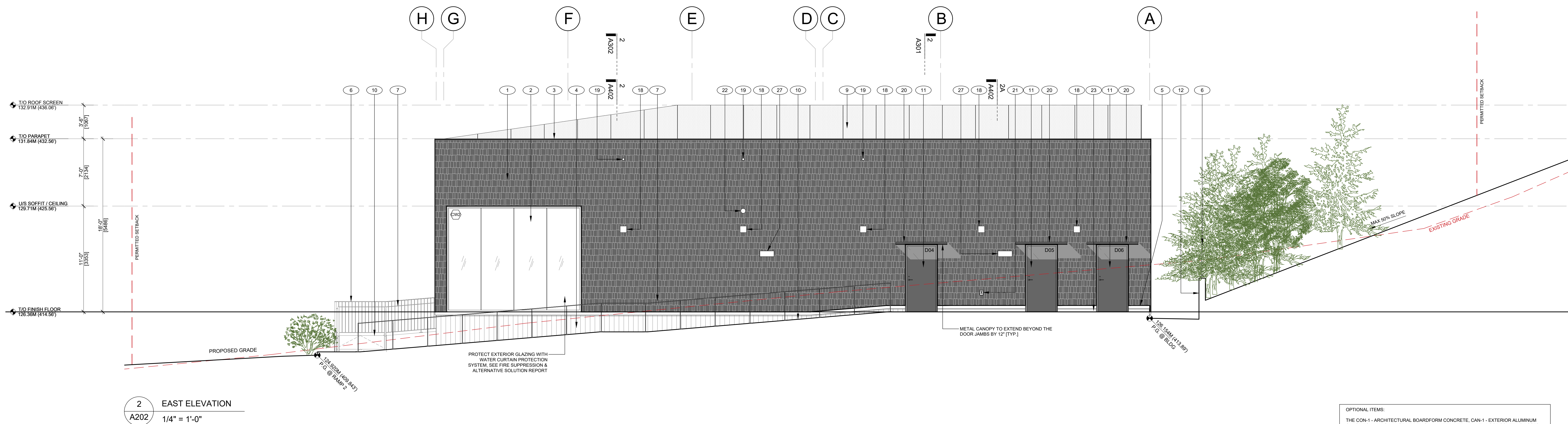
OPTIONAL ITEMS:
THE CON-1 - ARCHITECTURAL BOARDFORM CONCRETE, CAN-1 - EXTERIOR ALUMINUM CANOPIES AND RS-1 - HOT DIPPED GALVANIZED METAL PANEL ROOF SCREEN & POSTS INDICATED ON THIS DRAWING ARE TO BE INCLUDED IN THE TENDER AS INDIVIDUAL AND SEPARATE COST ADD ITEMS TO THE CONTRACT AFTER THE CONTRACT HAS BEEN AWARDED, PRIOR TO THE COMMENCEMENT OF CONSTRUCTION AND AS APPROVED BY THE CLIENT AND/OR ARCHITECT. ONE OR MORE OF THESE ITEMS MAY BE ADDED TO THE CONTRACT.
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ARCHITECT
STA
SEAL

SENG TSOV ARCHITECT INC.
200-1075 WEST SECOND AVE.
VANCOUVER, BC V6J 1H3
INFO@STA-OFFICE.CA

PROJECT
BURKE MOUNTAIN DISCOVERY CENTRE + COFFEE HOUSE
3537 PRINCETON AVENUE
COQUITLAM, BC
TITLE
BUILDING ELEVATIONS - SOUTH & WEST

SCALE
SEE DWG
PROJECT NUMBER
STA-1916
DRAWN BY
N/JSC
DRAWING NUMBER
A201



OPTIONAL ITEMS:

CON-1 - ARCHITECTURAL BOARDFORM CONCRETE, CAN-1 - EXTERIOR ALUMINUM CANOPES AND HSI-1 - HOT DIPPED GALVANIZED METAL PANEL ROOF SCREEN & POSTS INCL. IN THIS DRAWING ARE TO BE INCLUDED IN THE TENDER AS INDIVIDUAL AND SEPARATE COST ADD ITEMS TO THE CONTRACT. AFTER THE CONTRACT HAS BEEN AWARDED, PRIOR TO THE COMMENCEMENT OF CONSTRUCTION AND AS APPROVED BY THE CLIENT AND/OR ARCHITECT, ONE OR MORE OF THESE ITEMS MAY BE ADDED TO THE CONTRACT.

THIS IS ONLY A PARTIAL LIST, FOR FULL SCOPE OF OPTIONAL ITEMS, REFER TO ARCHITECTURAL COVER SHEET, STRUCTURAL, ELECTRICAL, LANDSCAPE, CIVIL AND SPECIALTIES.

PROJECT
BURKE MOUNTAIN DISCOVERY
CENTRE + COFFEE HOUSE
3537 PRINCETON AVENUE
COQUITLAM, BC

TITLE
BUILDING ELEVATIONS -
NORTH & EAST

SCALE _____

SEE DWG _____

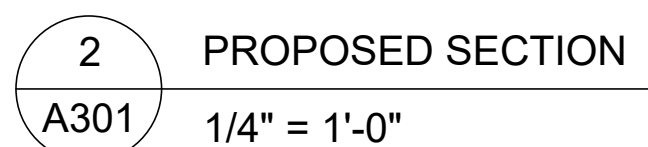
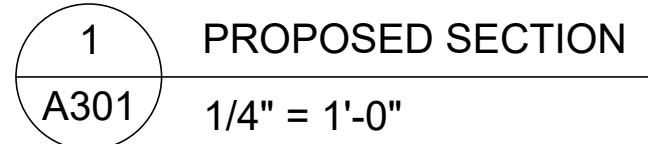
PROJECT NUMBER _____

STA-1916

DRAWN BY _____

NL/SC

A202



NOTES

----- ZERO HR FRR [SMOKE ASSEMBLY]

DATE	REVISION
2020.09.18	RE-ISSUED FOR BUILDING PERMIT
2020.10.02	ISSUED FOR COFFEE HOUSE RFP

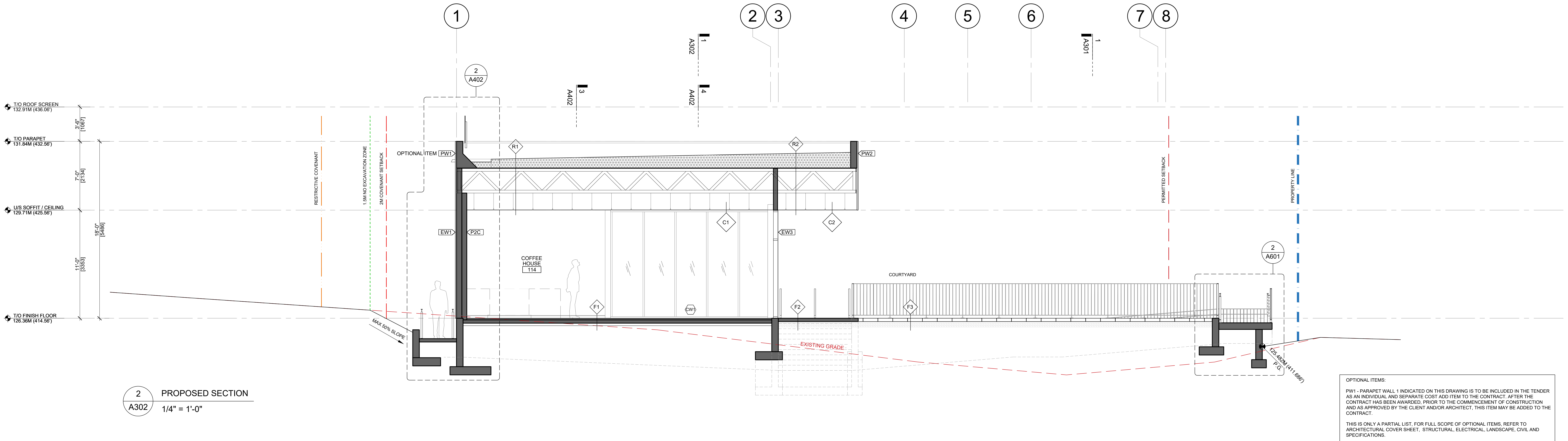
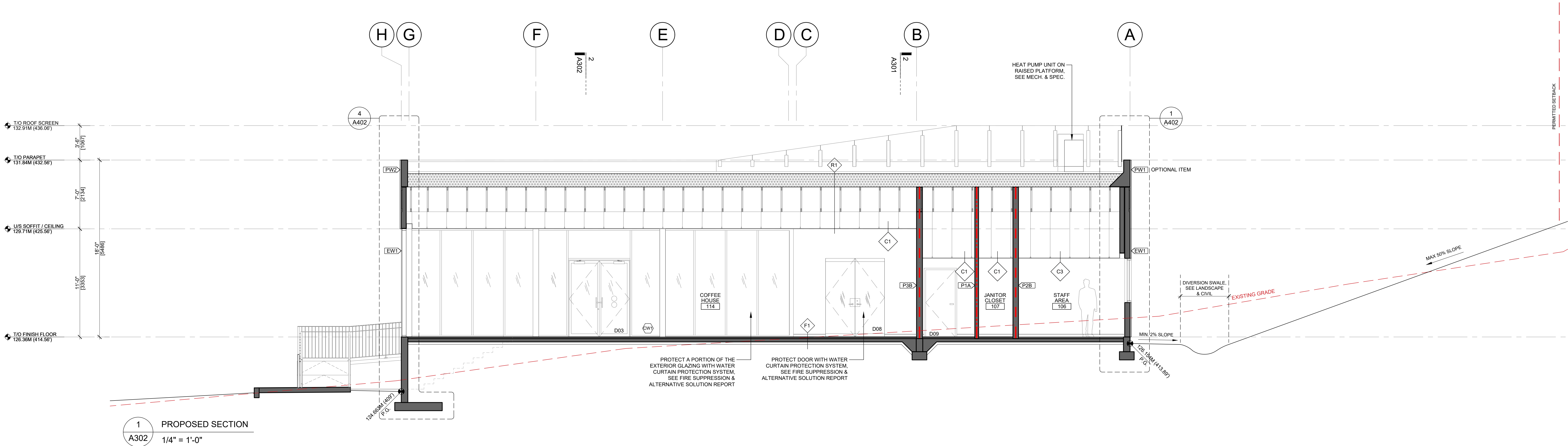
W.A.

SCALE	DRAWING NUMBER
SEE DWG	
PROJECT NUMBER	DRAWN BY
STA-1916	NL/SC
	A301

OPTIONAL ITEMS:

THE CAN-1 - EXTERIOR ALUMINUM CANOPY AND PW1 - PARAPET WALL 1 INDICATED ON THIS DRAWING ARE TO BE INCLUDED IN THE TENDER AS INDIVIDUAL AND SEPARATE COST ADD ITEMS TO THE CONTRACT. AFTER THE CONTRACT HAS BEEN AWARDED, PRIOR TO THE COMMENCEMENT OF CONSTRUCTION AND AS APPROVED BY THE CLIENT AND/OR ARCHITECT, ONE OR MORE OF THESE ITEMS MAY BE ADDED TO THE CONTRACT.

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NOTES

LEGEND AND NOTES:

- 45 MIN. FIRE SEPARATION
- ZERO HR FRR [SMOKE ASSEMBLY]

NOTES

DATE	REVISION
2020.01.24	ISSUED FOR 25% DESIGN REVIEW
2020.02.28	ISSUED FOR 50% DESIGN REVIEW
2020.03.06	ISSUED FOR 50% DESIGN REVIEW R1
2020.03.09	ISSUED FOR REZONING
2020.04.03	ISSUED FOR 65% DESIGN REVIEW
2020.04.17	ISSUED FOR 75% DESIGN REVIEW
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2020.06.30	ISSUED FOR 95% DESIGN REVIEW
2020.07.15	ISSUED FOR BUILDING PERMIT
2020.08.14	ISSUED FOR CONSULTANT REVIEW
2020.08.26	ISSUED FOR RFP

DATE	REVISION
2020.09.18	RE-ISSUED FOR BUILDING PERMIT
2020.10.02	ISSUED FOR COFFEE HOUSE RFP

ARCHITECT

STA

SEAL

SENG TSOV ARCHITECT INC.
200-1075 WEST SECOND AVE.
VANCOUVER, BC V6L 1H3
INFO@STA-OFFICE.CA

PROJECT

**BURKE MOUNTAIN DISCOVERY
CENTRE + COFFEE HOUSE**
3537 PRINCETON AVENUE
COQUITLAM, BC

TITLE

BUILDING SECTIONS

SCALE

SEE DWG

PROJECT NUMBER

STA-1916

DRAWN BY

NJ/SC

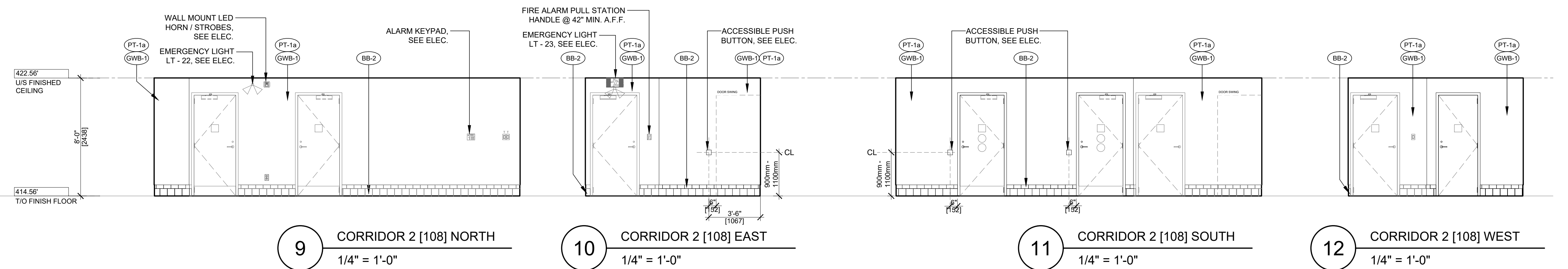
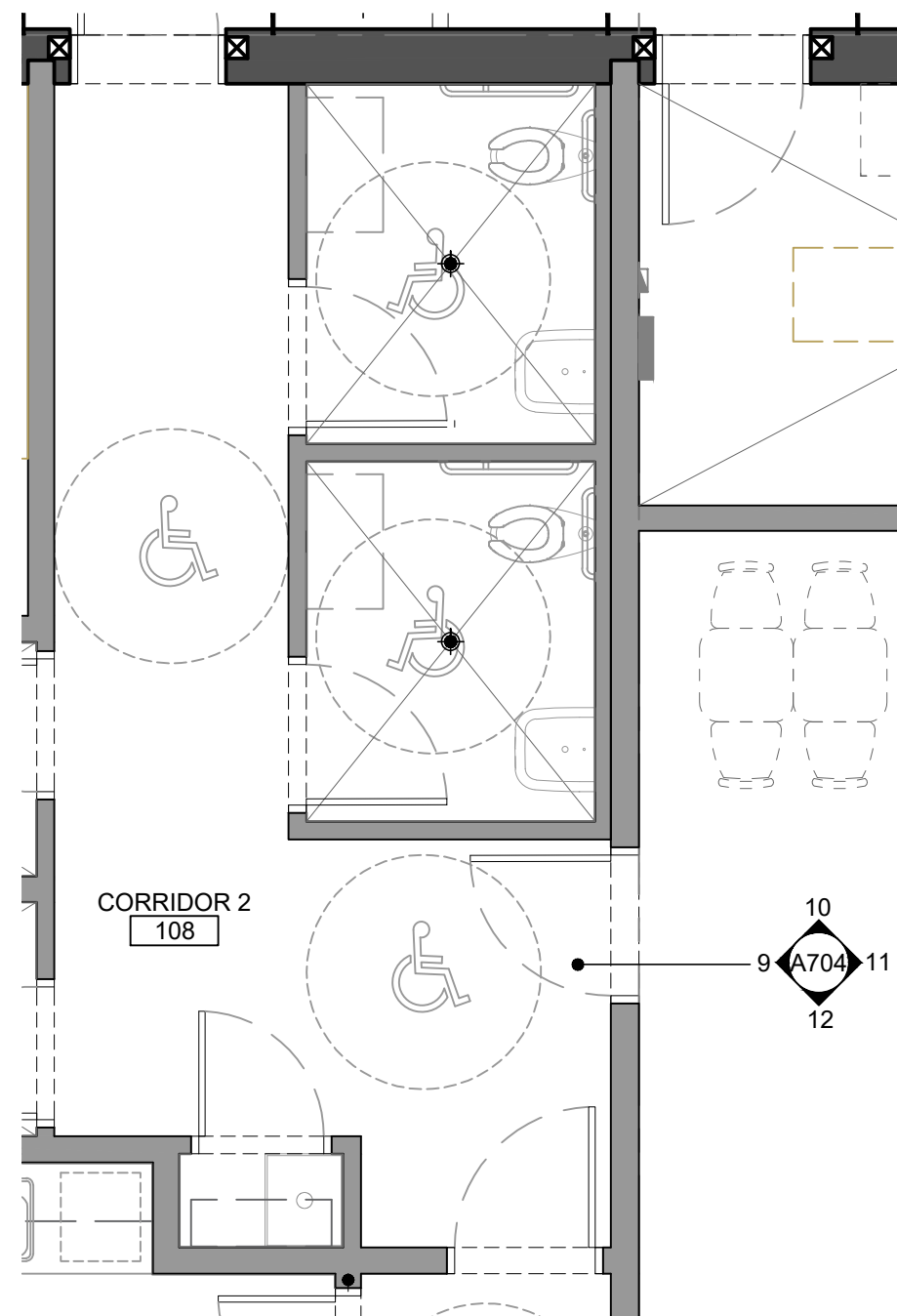
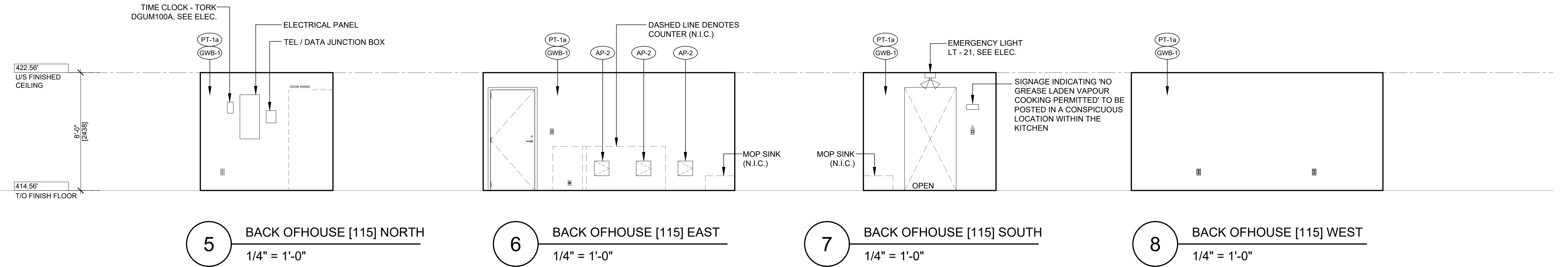
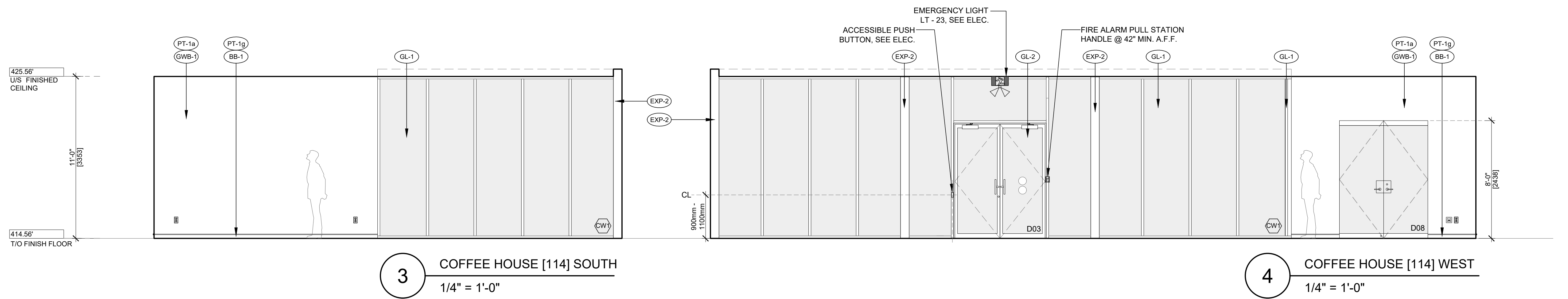
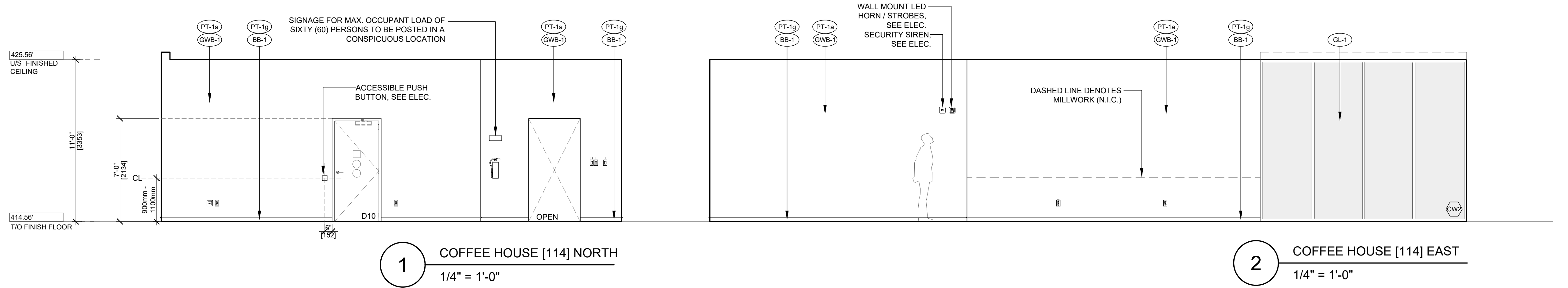
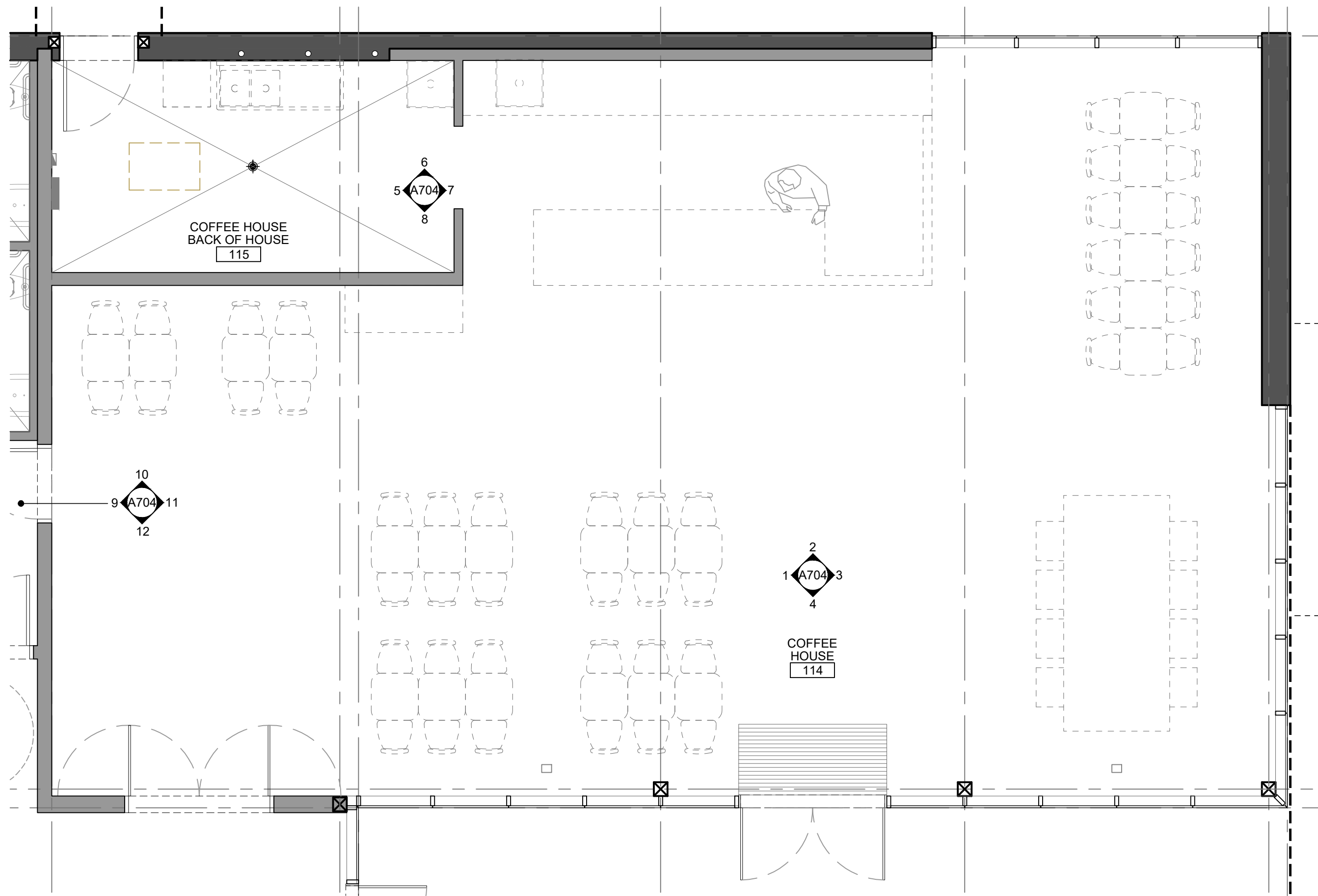
DRAWING NUMBER

A302

OPTIONAL ITEMS:

PW1 - PARAPET WALL 1 INDICATED ON THIS DRAWING IS TO BE INCLUDED IN THE TENDER AS AN INDIVIDUAL AND SEPARATE COST ADD ITEM TO THE CONTRACT. AFTER THE CONTRACT HAS BEEN AWARDED, PRIOR TO THE COMMENCEMENT OF CONSTRUCTION AND AS APPROVED BY THE CLIENT AND/OR ARCHITECT, THIS ITEM MAY BE ADDED TO THE CONTRACT.

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<p>NOTES</p> <p>PAINT SCHEDULE:</p> <ul style="list-style-type: none">(PT-1a) INTERIOR WALLS - TYP.(PT-1b) INTERIOR CEILING - TYP.(PT-1c) EXTERIOR SOFFIT - TYP.(PT-1d) INTERIOR METAL DOORS AND FRAMES(PT-1e) INTERIOR WOOD DOORS AND FRAMES(PT-1f) MDF BASEBOARD(PT-2a) EXTERIOR METAL DOORS AND FRAMES <p>INTERIOR FINISH SCHEDULE:</p> <ul style="list-style-type: none">(GWB-1) GYPSUM WALL BOARD(AP-1) RECESSED DRYWALL ACCESS PANEL(AP-2) STAINLESS STEEL ACCESS PANEL(BB-1) BASEBOARD TRIM(COT-1) POLISHED CONCRETE FLOOR(CT-1) CEILING TILE (T-BAR)(FG-1) ENTRY FLOOR GRATE(BB-2) RESILIENT BASEBOARD / WALL TILE(PF-1) FROSTED PRIVACY FILM <p>EXTERIOR FINISH SCHEDULE:</p> <ul style="list-style-type: none">(HAR-1) JAMES HARDIE SHINGLE SIDING(HAR-2) JAMES HARDIE - HARDIPANEL - VERTICAL SIDING(WS-1) STAINED WOOD SIDING(GWB-2) EXTERIOR DENGGLASS SOFFIT(CON-3) ARCHITECTURAL CONCRETE - CAST IN PLACE(EXT-4) EXT. CONCRETE RAMP, STAIRS & WALKWAY SURFACES(ASP-1) ASPHALT PARKING(PVR-1) CONCRETE PAVER(MTL-1) PREFINISHED METAL FLASHING - 'BLACK'(MTL-2) PREFINISHED METAL FLASHING - ANODIZED <p>EXTERIOR FINISH SCHEDULE (CONTD):</p> <ul style="list-style-type: none">(GL-1) CURTAIN WALL(GL-2) GLASS ENTRY DOORS (SWING)(GL-3) CURTAIN WALL WINDOW(DR-1) EXTERIOR DOOR (SWING)(GR-1) HOT DIPPED GALVANIZED METAL GUARDRAIL(HR-1) HOT DIPPED GALVANIZED METAL HANDRAIL(AS-1) PRE FIN POWDER COATED ALUMINUM SIGNAGE(GS-1) HOT DIPPED GALVANIZED METAL STRUCTURE(PP-1) ACCESSIBLE PUSH BUTTON(SC-1) SIAMSE CONNECTION <p>DRAINAGE / OTHER EQUIPMENT SCHEDULE:</p> <ul style="list-style-type: none">(SD-1) SLOT DRAIN(TD-1) EXTERIOR TRENCH DRAIN(FD-2) EXTERIOR AREA DRAIN(HB-1) EXTERIOR HOSE BIB(SCU-1) METAL ROOF SCUPPER(CC-1) PRE-CAST CONCRETE CURB STOP <p>MILLWORK FINISH SCHEDULE:</p> <ul style="list-style-type: none">(EXP-1) INTERIOR MILLWORK PLYWOOD(EXP-2) INTERIOR EXPOSED WOOD STRUCTURE(LAM-1) INTERIOR EXPOSED LAMINATE SURFACE <p>OPTIONAL ITEMS SCHEDULE:</p> <ul style="list-style-type: none">(CAN-1) EXTERIOR METAL CANOPY(CON-1) ARCHITECTURAL BOARD/FORM CONCRETE(CS-1) CONCRETE SEALER(BS-1) HOT DIPPED GALVANIZED PERFORATED METAL ROOF SCREEN AND METAL POSTS(MRS-1) MANUAL ROLLER SHADES <p>NOTE: FOR A FULL DESCRIPTION OF OPTIONAL ITEMS, REFER TO ARCHITECTURAL COVER SHEET, STRUCTURAL, ELECTRICAL, LANDSCAPE, CIVIL AND SPECIFICATIONS</p>				<p>DATE</p> <p>REVISION</p> <p>2020.03.06 ISSUED FOR 50% DESIGN REVIEW R1</p> <p>2020.03.09 ISSUED FOR REZONING</p> <p>2020.04.03 ISSUED FOR 65% DESIGN REVIEW</p> <p>2020.04.17 ISSUED FOR 75% DESIGN REVIEW</p> <p>2020.05.26 RE-ISSUED FOR 75% DESIGN REVIEW</p> <p>2020.06.30 ISSUED FOR 95% DESIGN REVIEW</p> <p>2020.07.15 ISSUED FOR BUILDING PERMIT</p> <p>2020.08.14 ISSUED FOR CONSULTANT REVIEW</p> <p>2020.08.26 ISSUED FOR RFP</p> <p>2020.09.14 ISSUED FOR RFP ADDENDUM #2</p>				<p>DATE</p> <p>REVISION</p> <p>2020.09.18 RE-ISSUED FOR BUILDING PERMIT</p> <p>2020.10.02 ISSUED FOR COFFEE HOUSE RFP</p>				<p>ARCHITECT</p> <p>STA</p> <p>SEAL</p> <p>SENG TSOV ARCHITECT INC. 200-1075 WEST SECOND AVE. VANCOUVER, BC V6L 1H3 INFO@STA-OFFICE.CA</p>				<p>PROJECT</p> <p>BURKE MOUNTAIN DISCOVERY CENTRE + COFFEE HOUSE 3537 PRINCETON AVENUE COQUITLAM, BC</p> <p>TITLE</p> <p>INTERIOR ELEVATIONS</p> <p>SCALE</p> <p>SEE DWG</p> <p>PROJECT NUMBER</p> <p>STA-1916</p> <p>DRAWN BY</p> <p>NJ/SC</p> <p>DRAWING NUMBER</p> <p>A704</p>			
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