

# Welcome

## Phase 3 Community Information Session

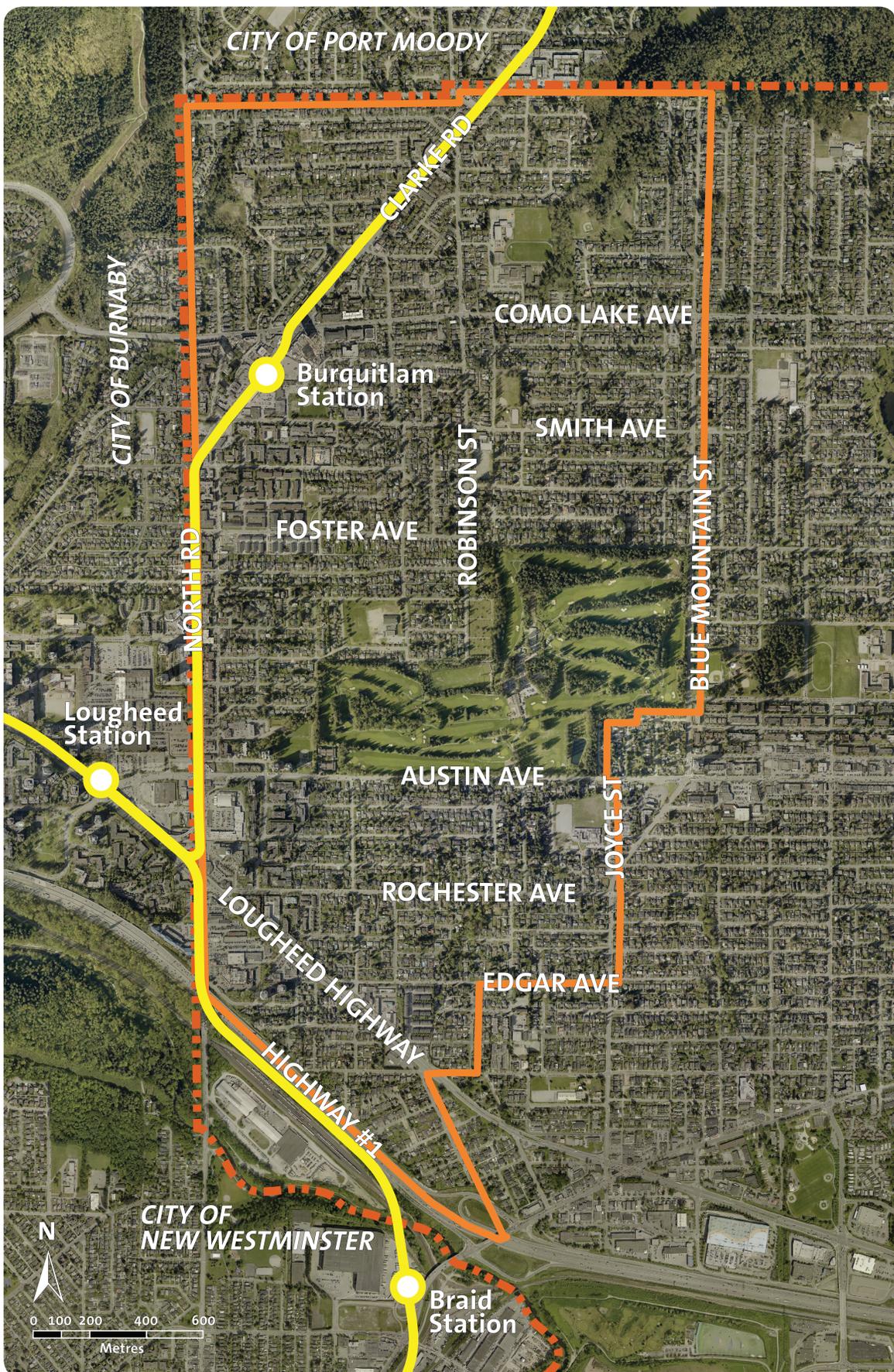
### Burquitlam-Lougheed Neighbourhood Plan (BLNP)

This is the third and final round of Community Information Sessions for the Burquitlam-Lougheed planning process. We have the draft Plan ready to share and we want your feedback to refine and complete the Plan!

### Your Feedback is Important to Us

Thank you for your feedback during Phase 1 and Phase 2 of this process. Please take a moment to review these information panels on the draft land uses and policies and fill out the comment form. Staff are available to answer your questions!

**You can also review the panels and answer these survey questions online.**



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# Planning Process

The draft Burquitlam-Lougheed Neighbourhood Plan, developed with considerable community input, is presented for your review.

## PHASE 1: Background, Ideas & Opportunities

Late 2014/ Early 2015



- Review existing policies, and background analysis
- Discuss 'Perspectives and Considerations'
- Update Plan Vision/Principles

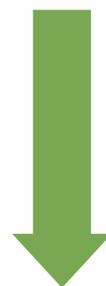


## PHASE 2: Land Use & Policy Options

Mid 2015/Mid 2016



- Develop land use, transportation, amenity, and servicing options
- Analyze draft options and test ideas
- Public consultation on potential land use options



## PHASE 3: Draft Plan

Late 2016/Early 2017

**WE ARE HERE**



- Prepare draft BLNP and implementation action plan
- Prepare Servicing Assessment
- Conduct third and final round of public consultation



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# Growth and Funding Services and Amenities

## Development Cost Charges (DCCs)

- DCCs are fees paid by developers on all new development, either per housing unit or per square metre of new construction.
- Main method to ensure new development contributes to providing necessary infrastructure and amenities.
- DCC rates are set citywide by Council and the money goes into six specific funds:

- |                         |                   |
|-------------------------|-------------------|
| 1. Transportation       | 4. Drainage       |
| 2. Parkland Acquisition | 5. Sanitary Sewer |
| 3. Park Improvement     | 6. Water System   |

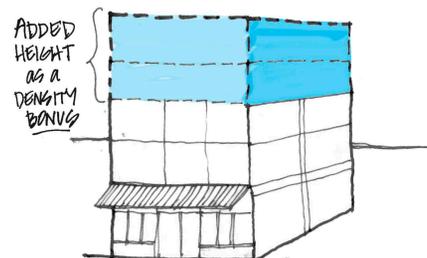


## Density Bonus & CACs

Two additional fee programs to raise funds from new development to help pay for amenities not eligible for DCC funding.

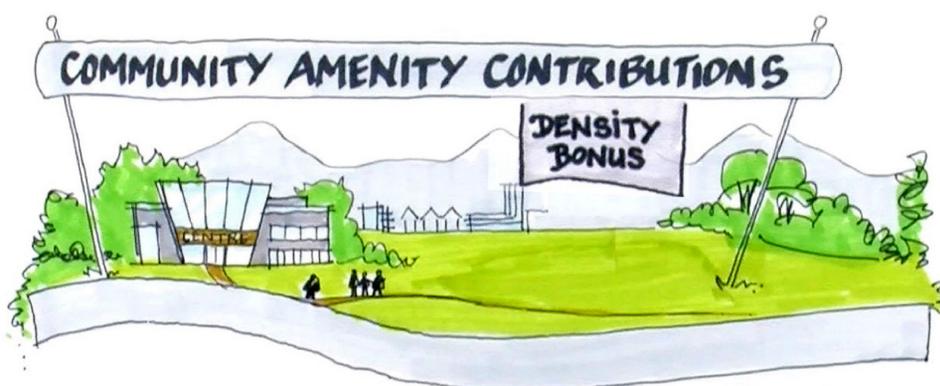
### 1. Density Bonus

- A financial contribution made by a developer if they are seeking additional density at rezoning.
- The amount of additional density and financial contribution is set out in the Zoning Bylaw.
- Applies to floorspace above 2.5 Floor Area Ratio (FAR).



### 2. Community Amenity Contribution (CACs)

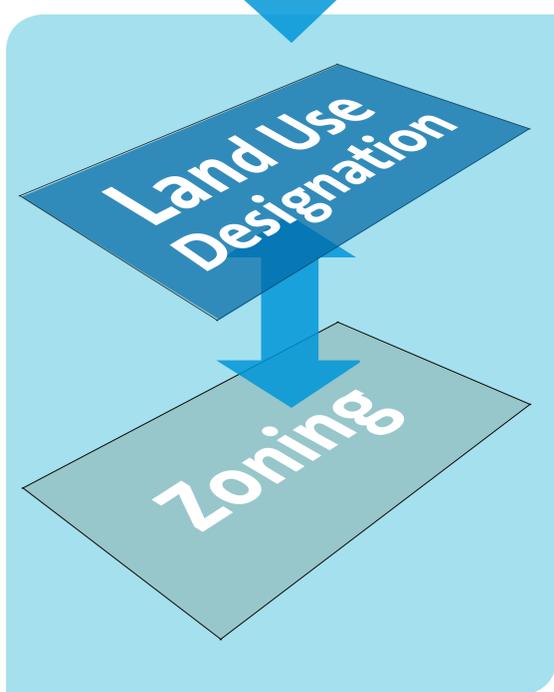
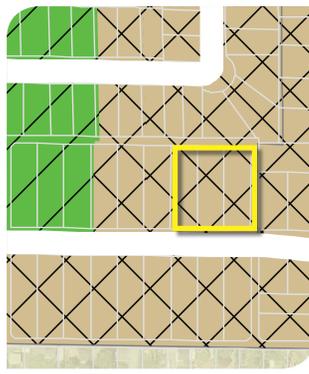
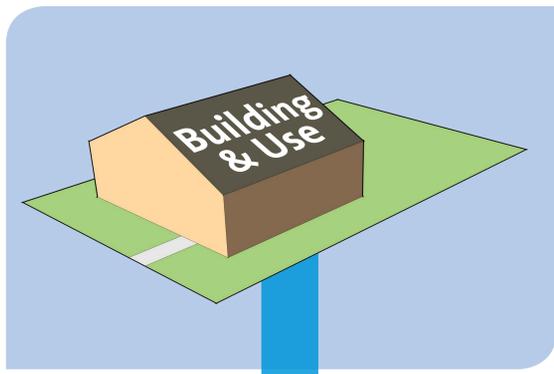
- Voluntary contribution made by a developer at rezoning.
- Only applies to new residential density/additional building floor area associated with the rezoning application up to 2.5 FAR.
- Used to help fund the City's share of the new YMCA community recreation facility in the Burquitlam Neighbourhood.



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# Land Use & Zoning

## What are they and how are they different?



### Think of a property having two layers:

**1. Land Use** – describes the existing or future uses and **building types a property can have** (i.e. commercial, residential, etc). The BLNP will change some land use designations but will not automatically change the zoning.

**2. Zoning** – specifies legally-permitted uses, lot sizes, height, and setbacks as well as the maximum density of buildings (typically measured by Floor Area Ratio (FAR)). All land in the city is assigned a zone under the City's Zoning Bylaw. A zoning change requires the owner to apply for rezoning.

## Example:



### Land Use – One Family Residential

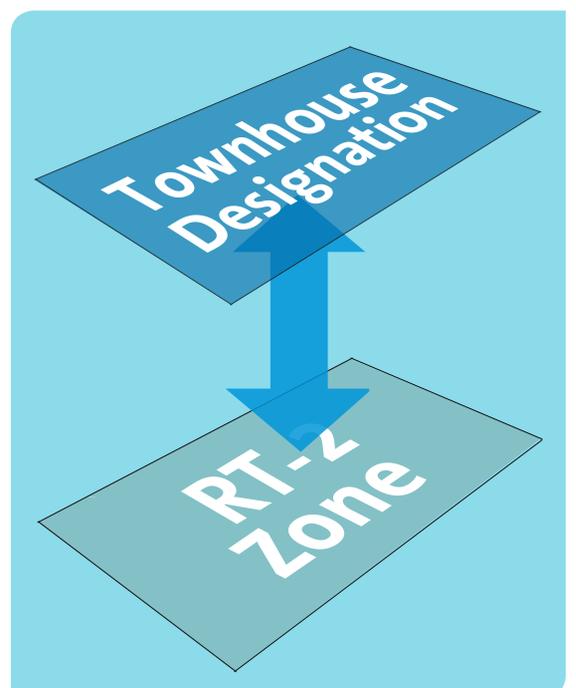
- One Family Residential is a Land use designation in the Official Community Plan (OCP).
- Accommodates one single family house.

### Zoning – RS-3

- Owner's legal property rights.
- Use, density, setbacks, lot coverage, height.
- Parking requirements.

## If the owner wants to rezone to a different use and/or density:

- Requires corresponding OCP land use designation in the OCP;
- To build a Townhouse, you must rezone to RT-2 and the OCP land use must be Townhouse;
- Rezoning requires approval by Coquitlam City Council, following a public hearing.



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# What is Density and How is it Measured?

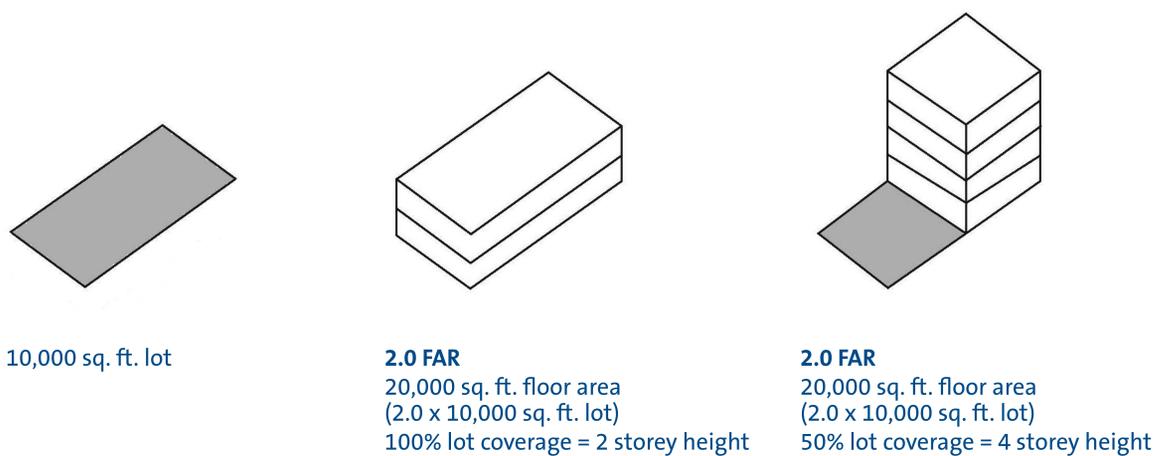
**Density** is the allowable building floor area permitted on a property; it is measured by a ratio called a **Floor Area Ratio (FAR)**.

**Floor Area Ratio (FAR)** – defines the maximum amount of floor area (building floor area) permitted to be constructed on a lot expressed as a ratio.

Floor area (and the building itself) is further shaped by the maximum permitted **Lot Coverage** – the footprint of a lot that is covered by a building.

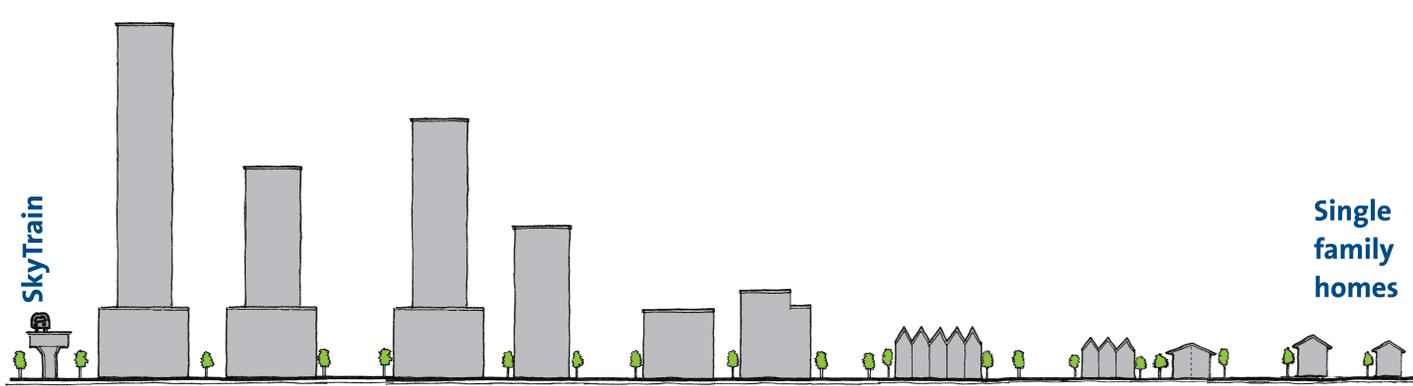
## Example:

If a lot is 10,000 sq. ft. and the maximum FAR is 2.0, the maximum allowable floor area that can be constructed is 20,000 sq. ft. Additionally, lot coverage shapes the building form.



## Planning for Transit-oriented Development Densities

Densities and building height will be highest in and adjacent to the Burquitlam and Lougheed Neighbourhood Centres, along arterial streets, and rapid and frequent transit routes. Height and density generally transition lower with increased distance from Neighbourhood Centres.



General transition from higher density and high-rise buildings to low density and low-rise buildings

Land Use Designation	Transit Village Commercial	High Density Apartment	Medium Density Apartment	Townhouse	Neighbourhood Attached Residential (Housing Choices)	One Family Residential
Zones Included	C-7, RM-6, RM-5	RM-4, RM-5, RM-6	RM-2, RM-3	RTM-1, RT-2, RM-2	RT-1, RT-3	RS-1, RS-3
Maximum Density (FAR)	4.5 FAR	3.0 - 4.0 FAR	2.4 FAR	0.9 - 1.4 FAR	0.75 FAR	18 units per hectare *
Maximum Building Height	None	None	3-8 storey	2-3 storeys	11 metres (2 storeys)	11 metres (2 storeys)

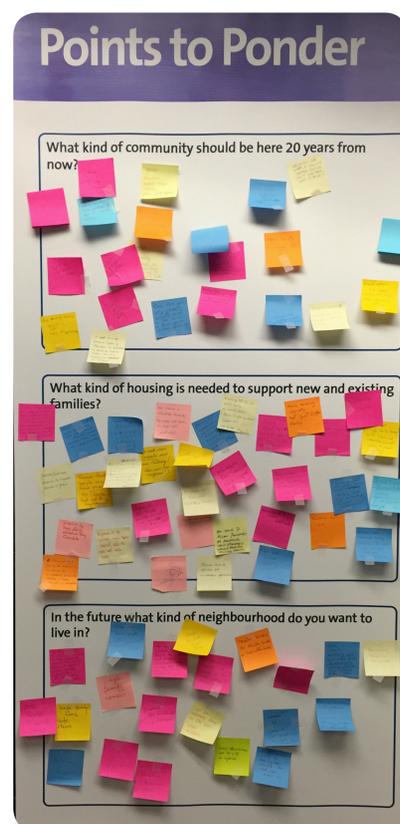
\* Single family density is defined by 'units or houses per hectare'.

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# What We've Heard So Far

## Phase 1 Public and Stakeholder Feedback

- Target density to specific locations and/or housing types.
- Increase density for improved local amenities.
- Increase housing options.
- Develop a more urban feel to the area.
- Mitigate traffic, parking, community safety and neighbourhood impact as a result of redevelopment.
- Improve/increase parks and open space.
- Increase walking/cycling opportunities.



## Phase 2 Public and Stakeholder Feedback

- Respect water courses and environmentally-sensitive areas.
- Expand and improve parks and amenities.
- Foster revitalization and renewal.
- Provide for higher levels of housing density.
- Recognize established communities by retaining existing land uses.
- Support of general transportation and parking strategies.
- Provide more specifics about traffic and parking.



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# Plan Vision

## Plan Vision

The Plan Vision was developed early in the process, in consultation with the Burquitlam Lougheed communities; it serves as the policy foundation for the one Neighbourhood Plan.

*Burquitlam-Lougheed is a complete community made up of a collection of distinctive neighbourhoods. These range from active neighbourhood centres and streets in the core to quieter, outlying, lower-density residential areas.*

*Burquitlam-Lougheed offers a range of housing options, local employment, and social interaction opportunities, with high quality parks, streetscapes and community amenities in a safe environment. Connected locally and regionally, people move efficiently by transit, walking, cycling and driving.*



Potential future Burquitlam Station area that illustrates the vision realized - not what is actually planned yet.

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# Guiding Principles

## 1. Neighbourhood Centres

Develop vibrant community hubs with services that benefit the neighbourhood.



## 2. Community Amenities

Expand neighbourhood parks, open spaces and community facilities and connect them to the citywide network.



## 3. Transportation Choice

Improve transportation choice through integrated land use planning, greater street connectivity, and make walking, cycling, and transit viable choices for all ages and abilities.



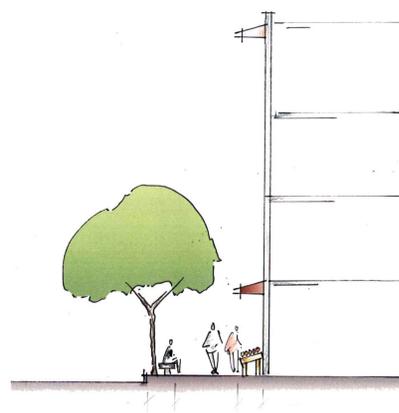
## 4. Provide Housing Options

Promote housing diversity including rental and accessible units that accommodate different types of households at a variety of life stages.



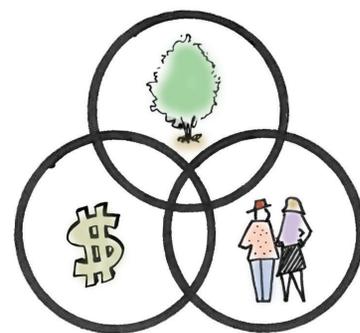
## 5. Design on a Human Scale

Incorporate human-scale building and site design principles with a focus on creating attractive buildings, high-quality public spaces and streetscapes.



## 6. Foster Sustainability

Pursue sustainability through building design, housing affordability, parks, transportation choices, transit-supportive densities, and watercourse protection.



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# How We Got Here

## Sub-Areas & Land Use Options

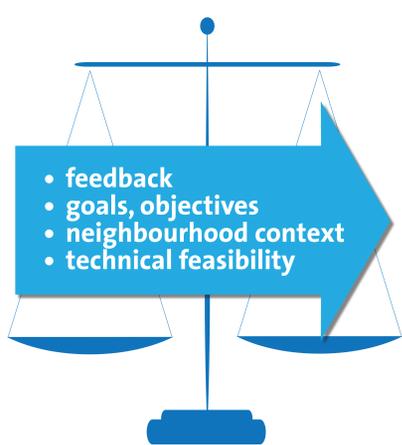
In Phase 2, the BLNP area was divided into ten sub-areas and land use options were presented for each.

The sub-areas:

- recognize the unique context, land uses, and building form in each neighbourhood;
- provide for easier discussion of land use options; and
- allow for a neighbourhood-based planning process.



Options



Sub-Area D:  
Hybrid of Options 2 and 3

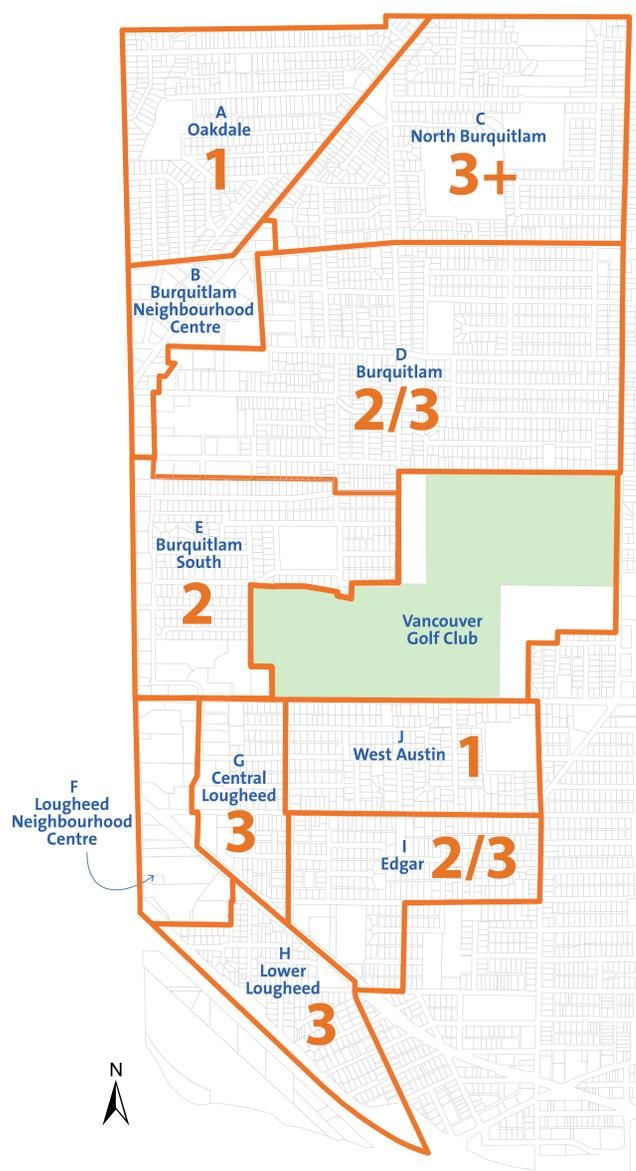
## Fitting the Pieces Together – which option?

The draft Land Use Concept and policies presented in the following boards are based on a balance of:

- existing neighbourhood context;
- feedback collected from Phase 2;
- preference for option 1, 2, or 3;
- best practices in planning;
- transportation engineering, utility servicing, and environmental analysis; and
- technical feasibility.

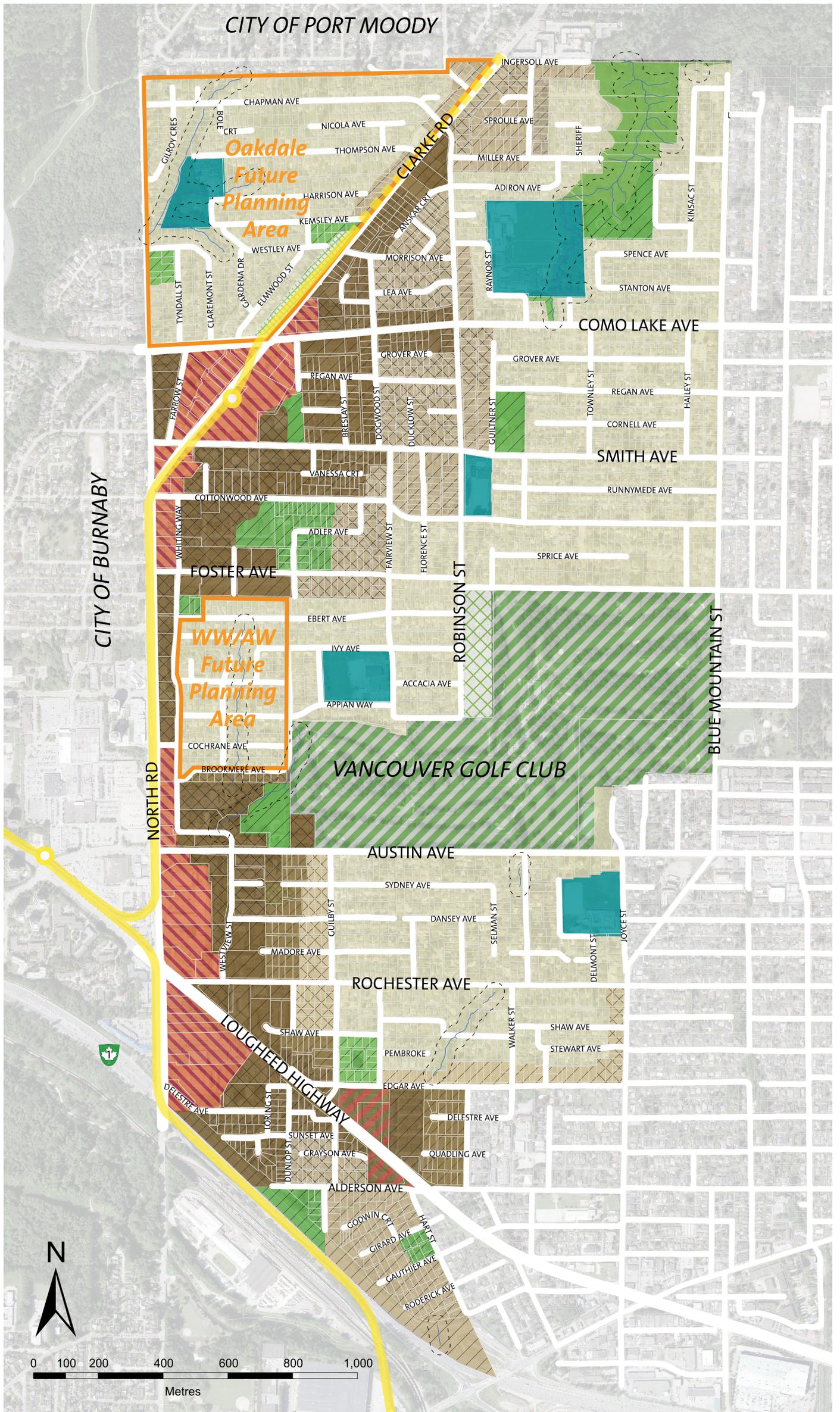
### Phase 2 Sub-Areas: Option Outcomes

The map below shows the general outcomes from the Phase 2 public consultation and which option was chosen for each sub-area.



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# Draft Land Use Concept



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# Draft Land Use: High-Rise Apartment

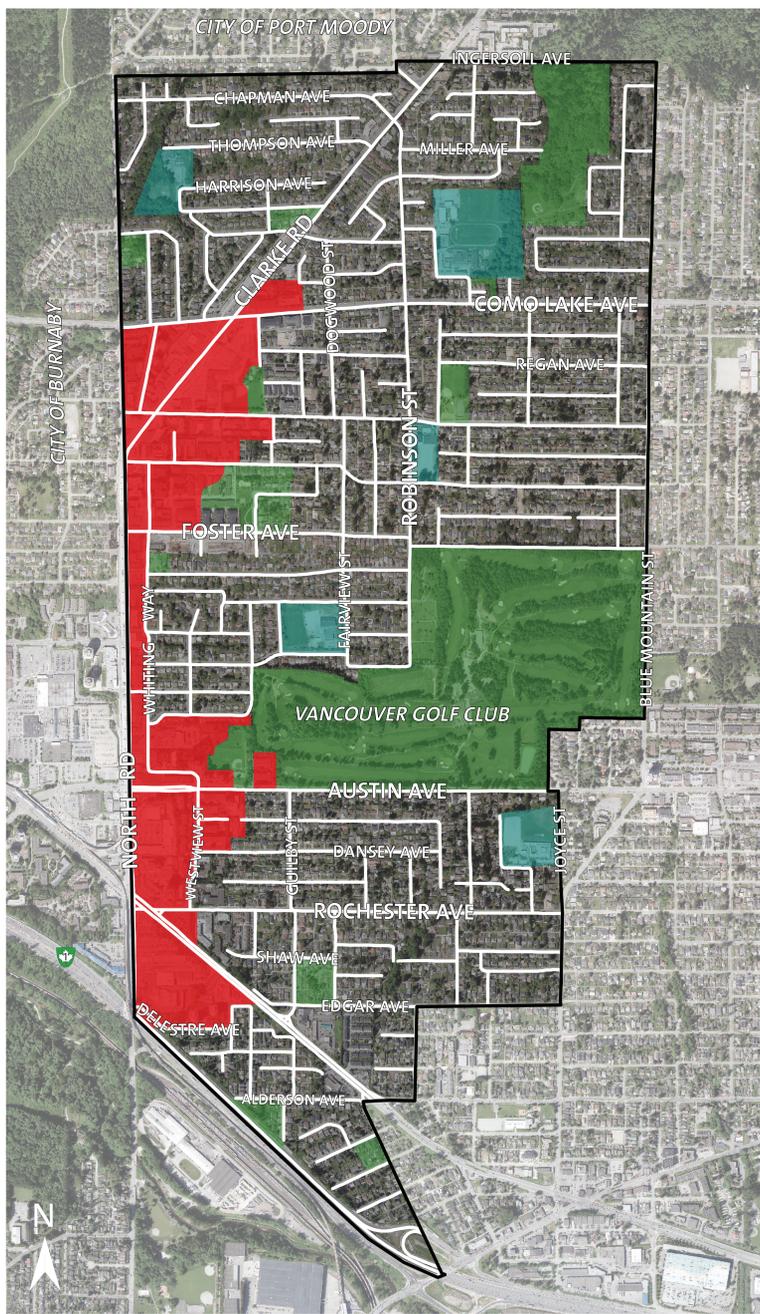
This panel shows where high-rise apartments are allowed, in a simplified graphic way.

For specific land use designations, see previous complete Land Use Concept for actual OCP land use colours.

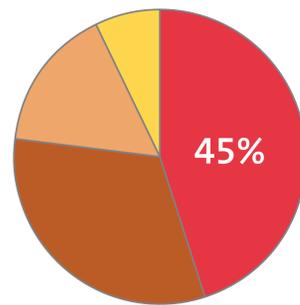


## High-Rise Apartment

- Focused in the 'Core' areas around SkyTrain.
- Mixed-use commercial/residential on North & Clarke Roads within Neighbourhood Centres.

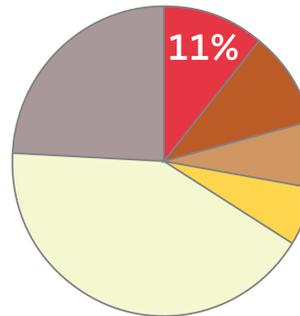


### Estimated new high-rise units



45% of total new units  
Anticipated demand is for 4,000-4,500 new units by 2041

### Estimated Plan Area



Approximately 11% of the total plan area (64.7 ha/160 acres)

## Includes these OCP Land Uses



### High-Density Apartment

- Apartment developments in tower form, generally near neighbourhood centres
- No height limit (based on zoning)
- FAR: 4.0



### Transit Village Commercial

- Mixed-uses: residential, retail, commercial, professional services and public amenities
- No height limit (based on zoning)
- FAR: 4.5



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# Draft Land Use: Low-Rise Apartment

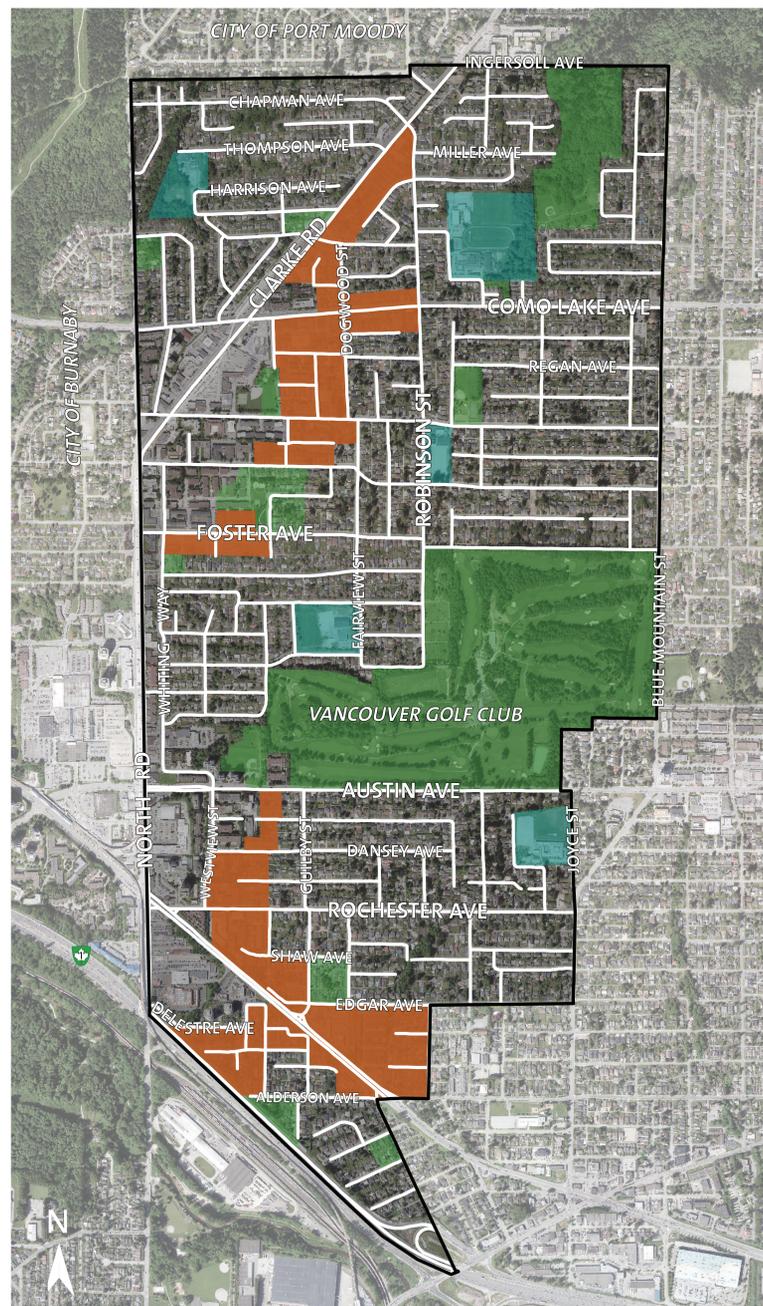
This panel shows where low-rise apartments are allowed, in a simplified graphic way.

For specific land use designations, see previous complete Land Use Concept for actual OCP land use colours.

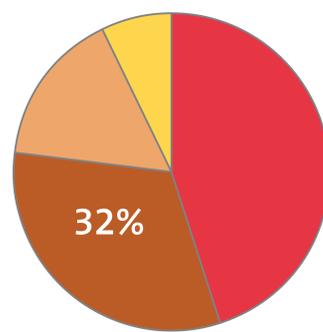


## Low-Rise Apartment

- In areas where towers are not appropriate

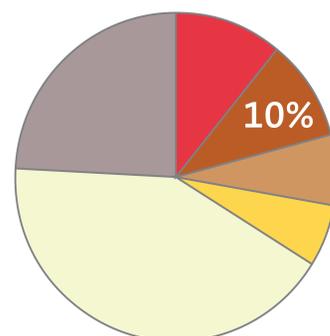


### Estimated new low-rise units



32% of total new units  
Anticipated demand for 3,000-3,500 new units by 2041

### Estimated Plan Area



Approximately 10% of the total plan area (56.7 ha/140 acres)

## Includes these OCP Land Uses

 **Neighbourhood Centre**



- Medium Density, mixed-use commercial and residential
- Up to 6 storeys
- FAR: 2.5

 **Medium Density Apartment**



- Multi-family housing types (townhouses, and apartment)
- Between 4 and 8 storeys
- FAR: 1.4 - 2.4

 **Low Density Apartment**



- Low-rise, multi-family housing (townhouse and apartments)
- Up to 3 storeys
- Pre-existing only
- FAR: 1.1

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# Draft Land Use: Townhouse

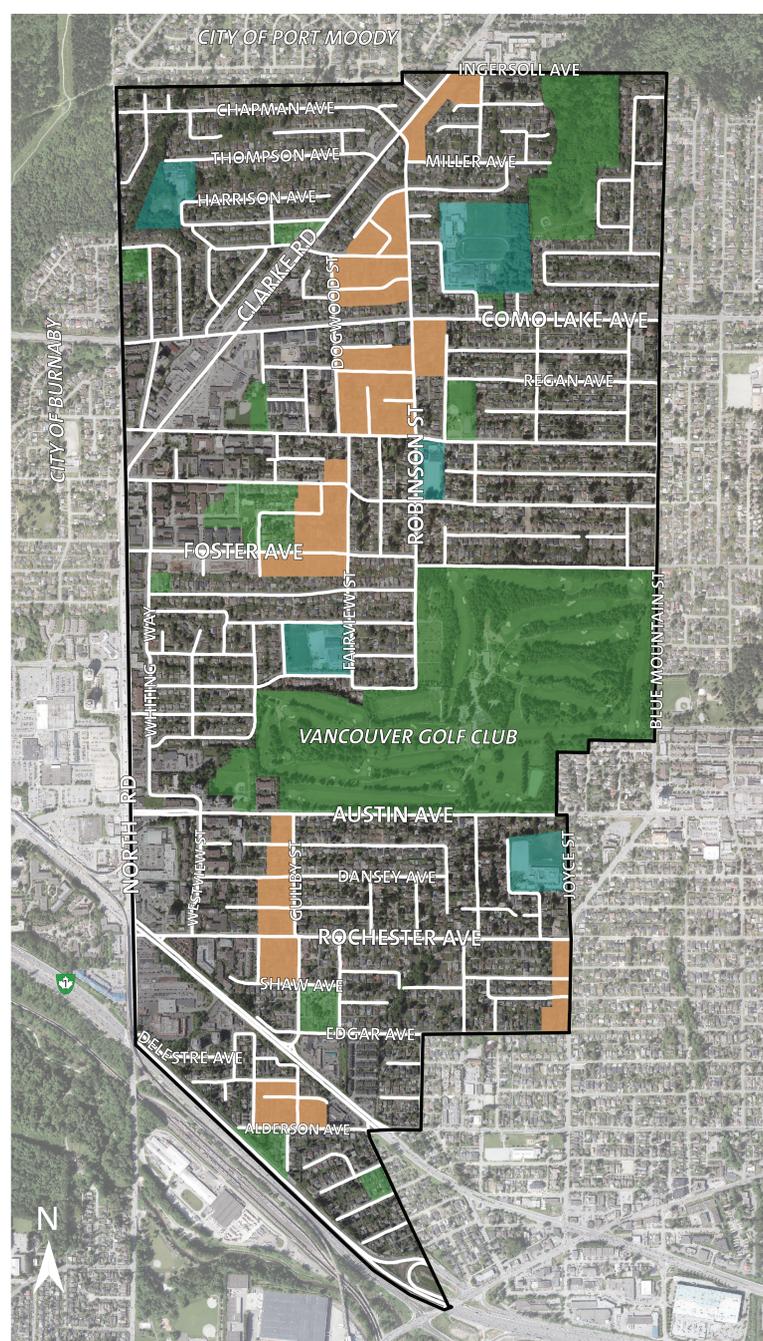
This panel shows where townhouses are allowed, in a simplified graphic way.

For specific land use designations, see previous complete Land Use Concept for actual OCP land use colours.

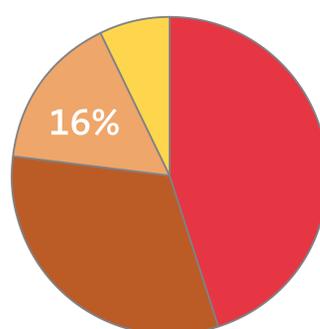


## AAA Townhouse

- More family-friendly housing option.
- In high demand.
- Supports housing affordability.

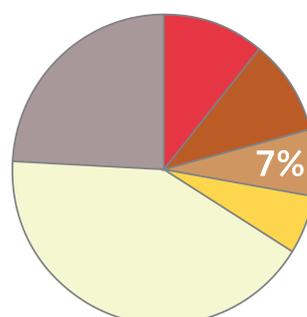


### Estimated new townhouse units



16% of total new units  
Anticipated demand for 1,500 new units by 2041

### Estimated Plan Area



Approximately 7% of the total plan area (38.4 ha/95 acres)

## Includes these OCP Land Uses

### Townhousing



- Attached, ground-oriented housing types in townhouse or rowhouse form
- 2 to 3 storeys
- FAR: 1.1 - 1.4

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# Draft Land Use: Housing Choices

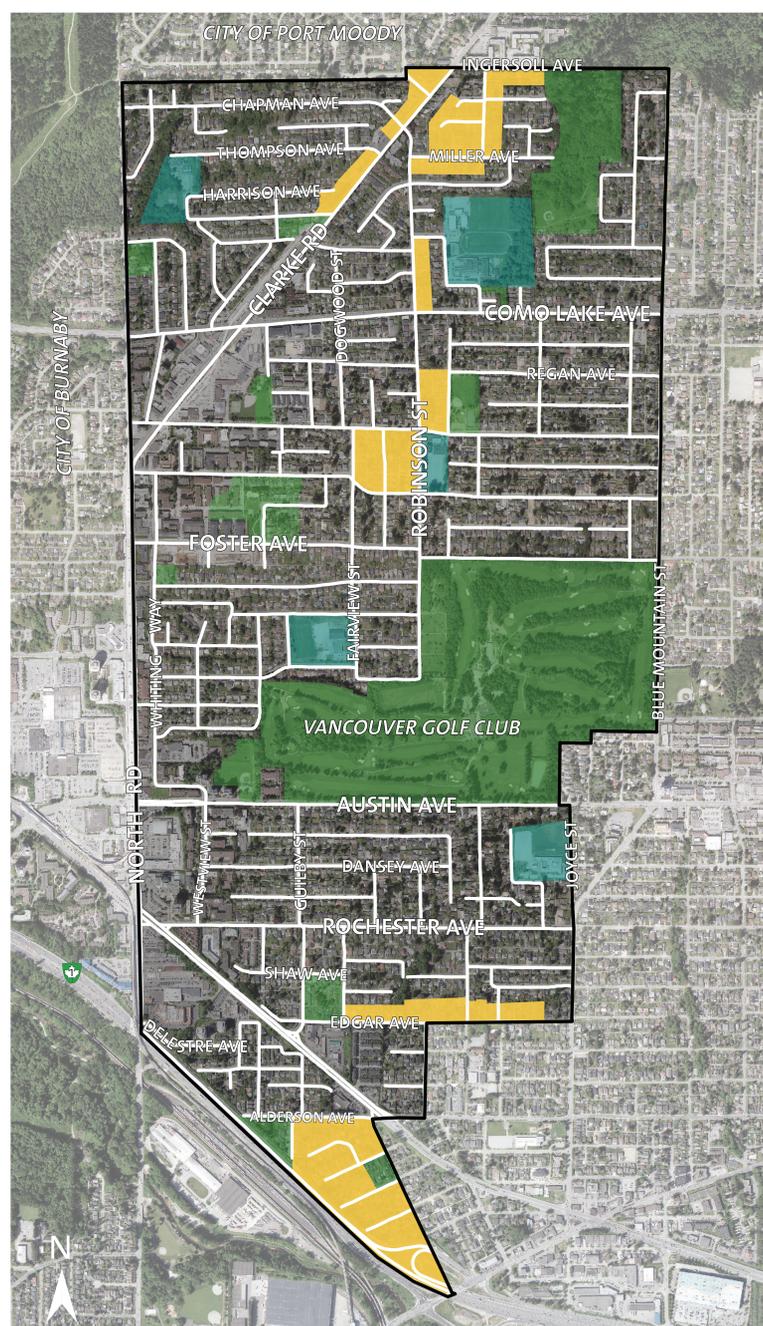
This panel shows where housing choices are allowed, in a simplified graphic way.

For specific land use designations, see previous complete Land Use Concept for actual OCP land use colours.

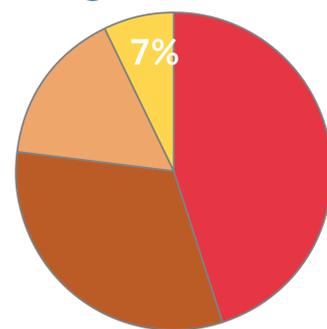


## Housing Choices

- Complete the transition from high-density to adjoining established single-family areas.
- More affordable, family-friendly housing options.
- Duplex, triplex, quadruplex.

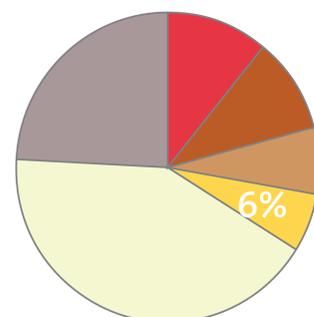


### Estimated new Housing Choices units



7% of total new units  
Anticipated demand for 620 units by 2041

### Estimated Plan Area



Approximately 6% of the total plan area  
(34.4 ha/85 acres)

## Includes these OCP Land Uses

### Neighbourhood Attached Residential



- Small-scale, low-density, ground-oriented housing types
- Either attached or detached forms
- Up to 4 units per lot, depending on lot size
- FAR: 0.5 - 0.75

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# Draft Land Use: Single Family

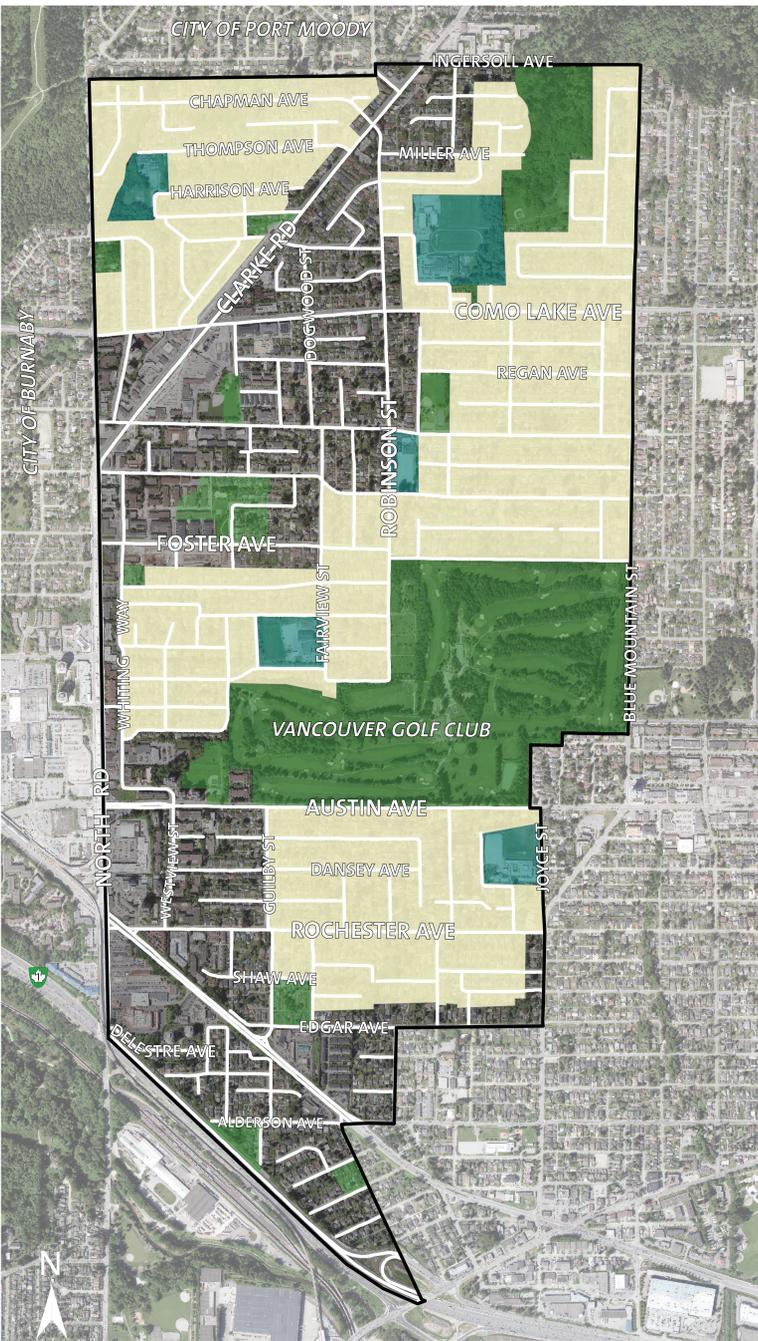
This panel shows where single-family houses are allowed, in a simplified graphic way.

For specific land use designations, see previous complete Land Use Concept for actual OCP land use colours.

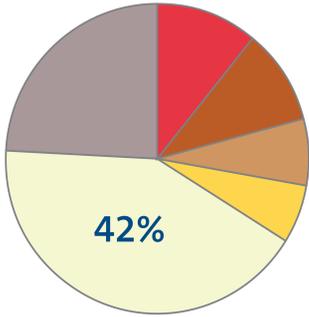


## Single Family

- Established single-family residential areas.
- Minimal change expected.



### Estimated Plan Area



Approximately 42% of the total plan area (306.3 ha/757 acres), 2,000 lots, will remain single family

## Includes these OCP Land Uses

 One Family Residential



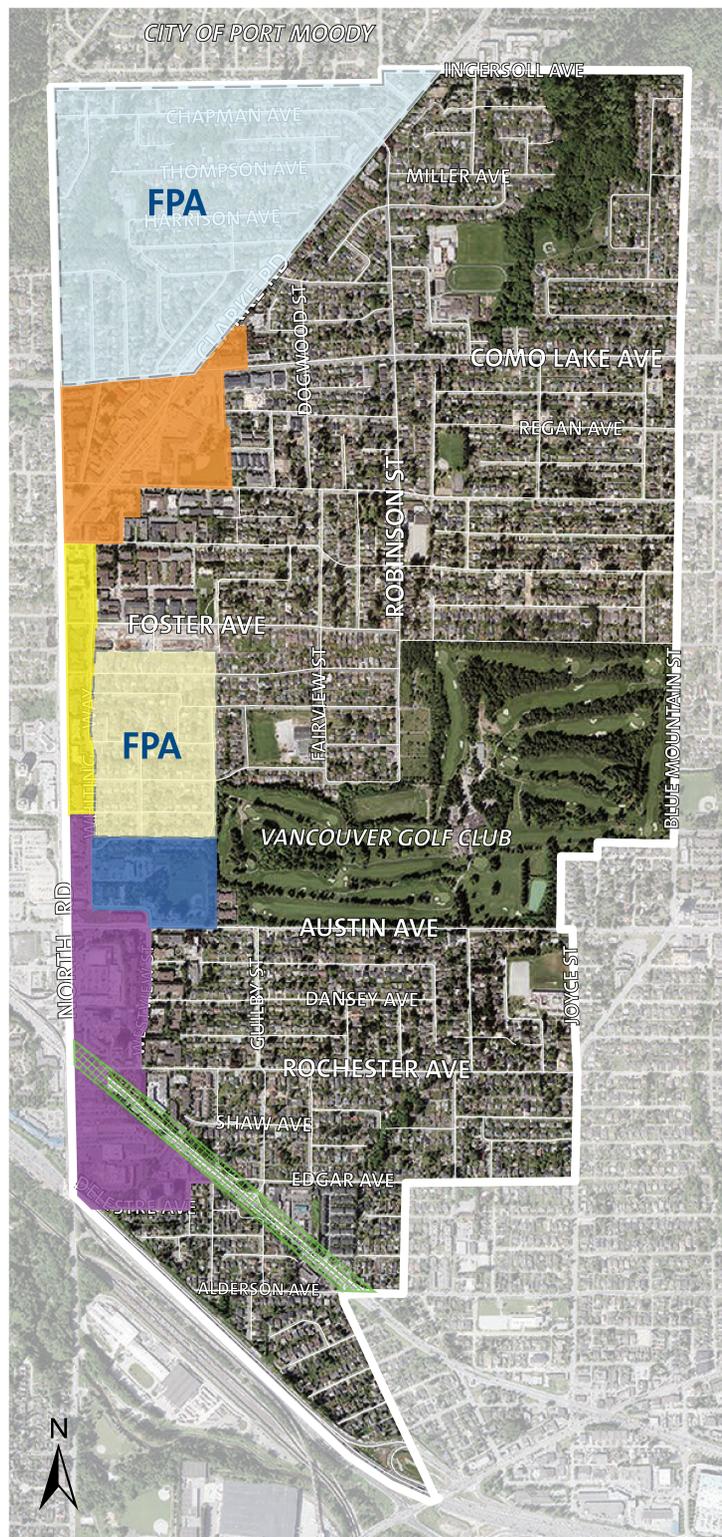
- Low density single family lots with limited accessory uses in established single family areas.
- 18 units per hectare.

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# BLNP Districts

Several neighbourhood-specific districts and policies have been developed based on consultation feedback.

Two neighbourhoods are also proposed as “Future Planning Areas” to be reviewed at a later date.



## Districts & Policies:

### **Burquitlam Centre**

The heart of the community with local shops and services, public spaces for people and community life.

### **North Road**

North Road will become a walking, cycling, and transit-friendly boulevard with active uses, trees, and wide sidewalks.

### **Coquitlam College**

Envisioned to transform into a higher-density, mixed-use precinct that integrates education, residential, and commercial uses.

### **Lougheed Centre**

Envisioned to evolve into a walkable, high-density, mixed-use area with a high-degree of design excellence, retail and offices, with high-rise residential.

### **Lougheed Boulevard**

Lougheed Highway will transform into a walking, cycling, and transit-friendly urban boulevard with street-fronting buildings, trees, bike lanes, and wide sidewalks.

## Future Planning Areas (FPAs):

### **FPA Oakdale**

### **FPA Whiting/Appian Way**

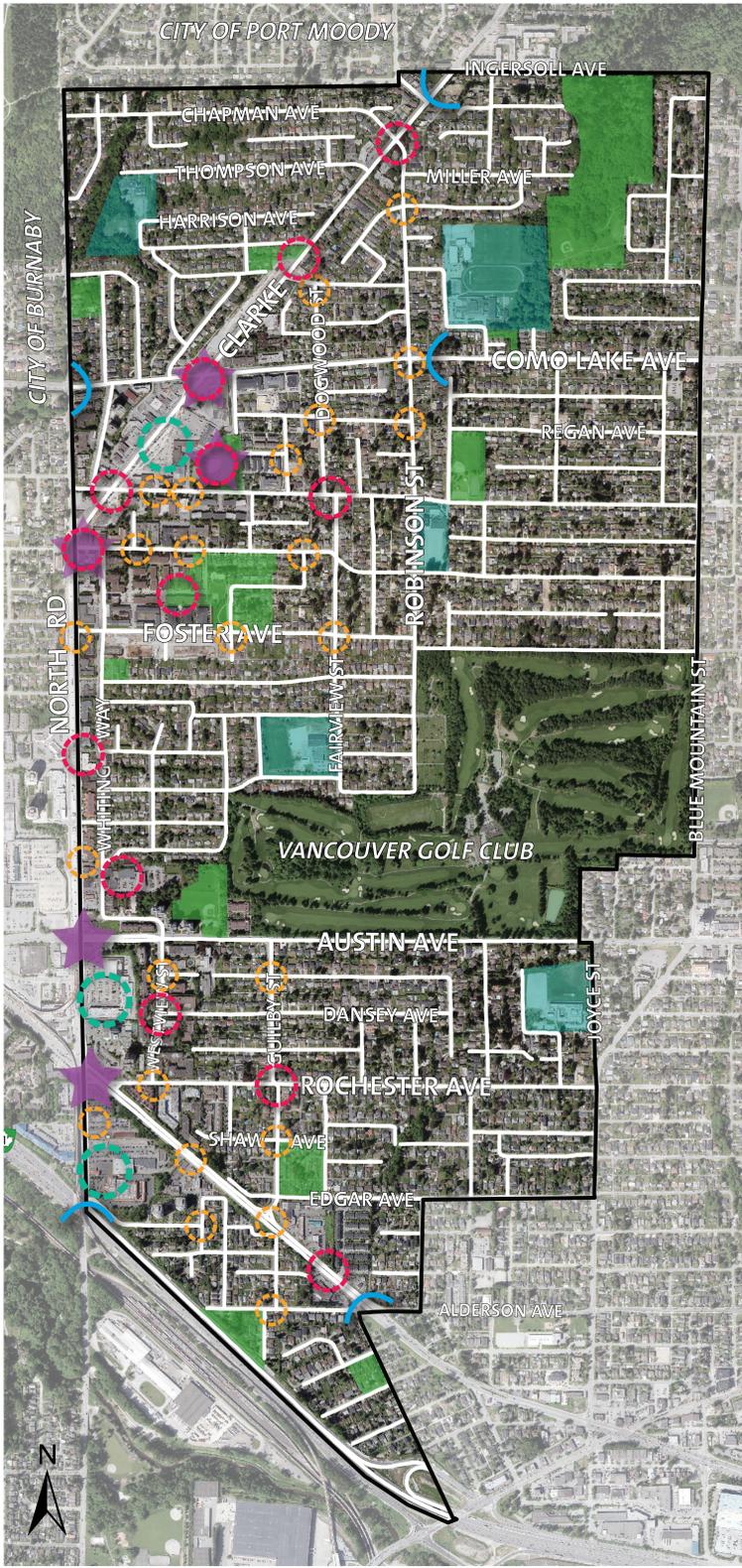
The Oakdale and Whiting Way / Appian Way areas are designated as Future Planning Areas.

The plan and policy review will take into consideration higher-density housing types, form of development, land use transition, amenities, transportation and utility improvements.

The draft BLNP outlines how a review of these FPAs would be triggered.

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# Urban Design Framework



## Building Design Policies

**Landmark Sites**, located at key intersections, and Landmark Buildings (30 storeys or greater) shall provide a high degree of design excellence.

**Gateways** include a high degree of design excellence and mark entry to the neighbourhood.

Gateways shall include public art, unique public spaces and plazas, lighting, and streetscape treatments.

## Public Space Policies

**Nodes**, a network of public plazas designed to encourage gathering:

- **Primary Node** - major public plazas
- **Major Node** - smaller public plazas
- **Minor Node** - small corner 'parkettes'

## Heritage

Assess older buildings to determine their heritage merit.

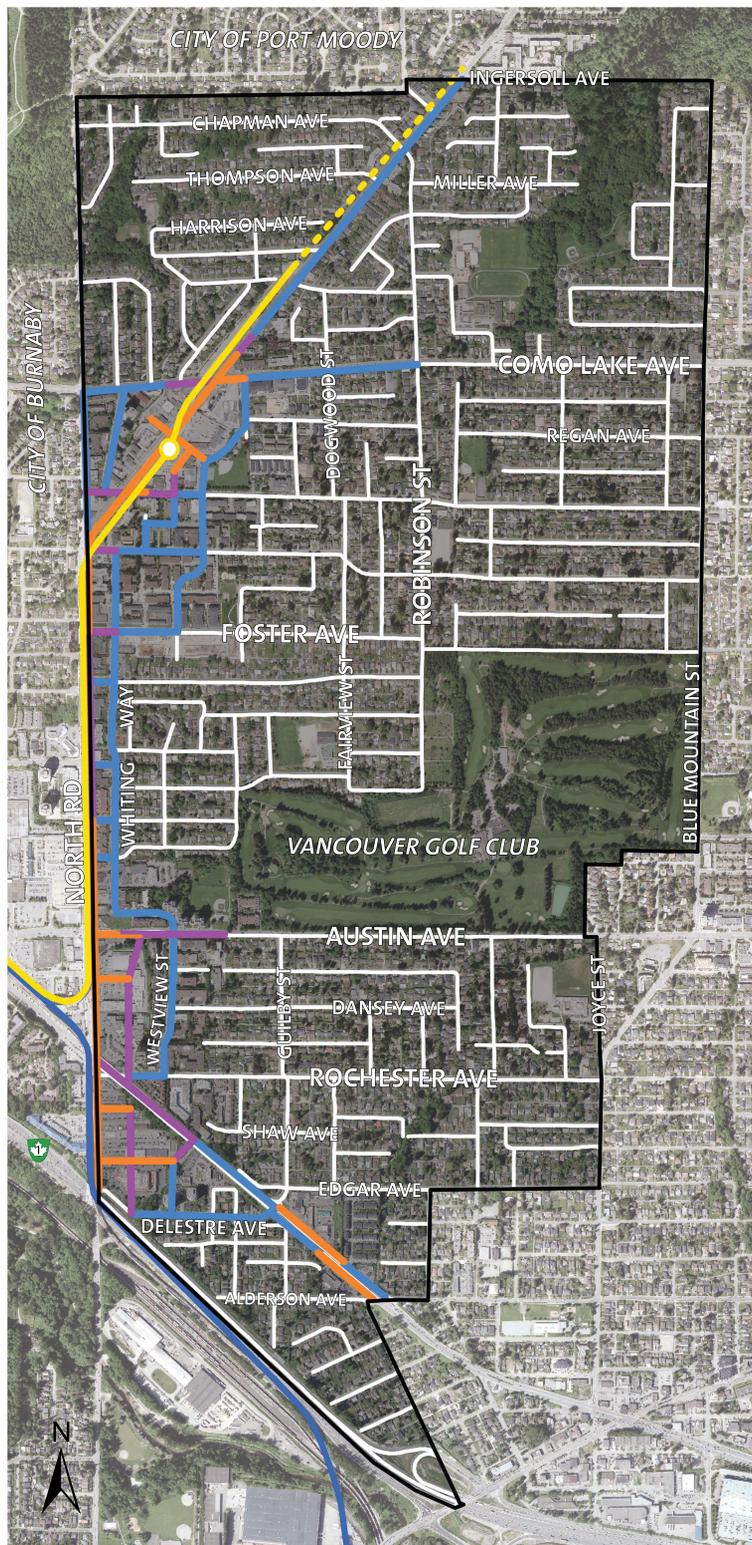
### Legend

- ★ Landmark
- ⤿ Gateway
- Primary Node
- Major Node
- Minor Node
- 🚇 SkyTrain



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# Street Frontage Types



## Legend

-  Mandatory Commercial Street Frontage
-  Optional Commercial Street Frontage
-  Residential Street Frontage
-  SkyTrain

## Mandatory and Optional Commercial Street Frontage

Continuous ground-oriented, at-grade, pedestrian-focused, retail, commercial, or civic/assembly uses.

## Residential Street Frontage

Continuous ground-oriented (or slightly elevated) residential, civic/assembly, live/work, institutional, or highly-transparent residential amenity uses in the ground floor of all buildings.



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# Parks, Recreation & Culture

## Policy Highlights

Approximately 23.2 acres (9.37 ha) of new park is to be acquired in the Burquitlam-Lougheed area over the next 30 years, based on expected growth.

The exact amount and location of parkland will vary, and is dependent on many factors related to property acquisition, such as land development, funding availability, and public consultation.

The City looks for opportunities to get additional park and recreation amenities' benefits through development to supplement the public park system, including:

- public amenities on private lands;
- financial contributions towards park amenities; or,
- development of City parks by private developers, with City oversight.



## YMCA and other Services

Community Recreation Services will be provided through a new community recreation facility in partnership with the YMCA and through partnerships such as the Neighbourhood Learning Centre being established at Banting Middle School.



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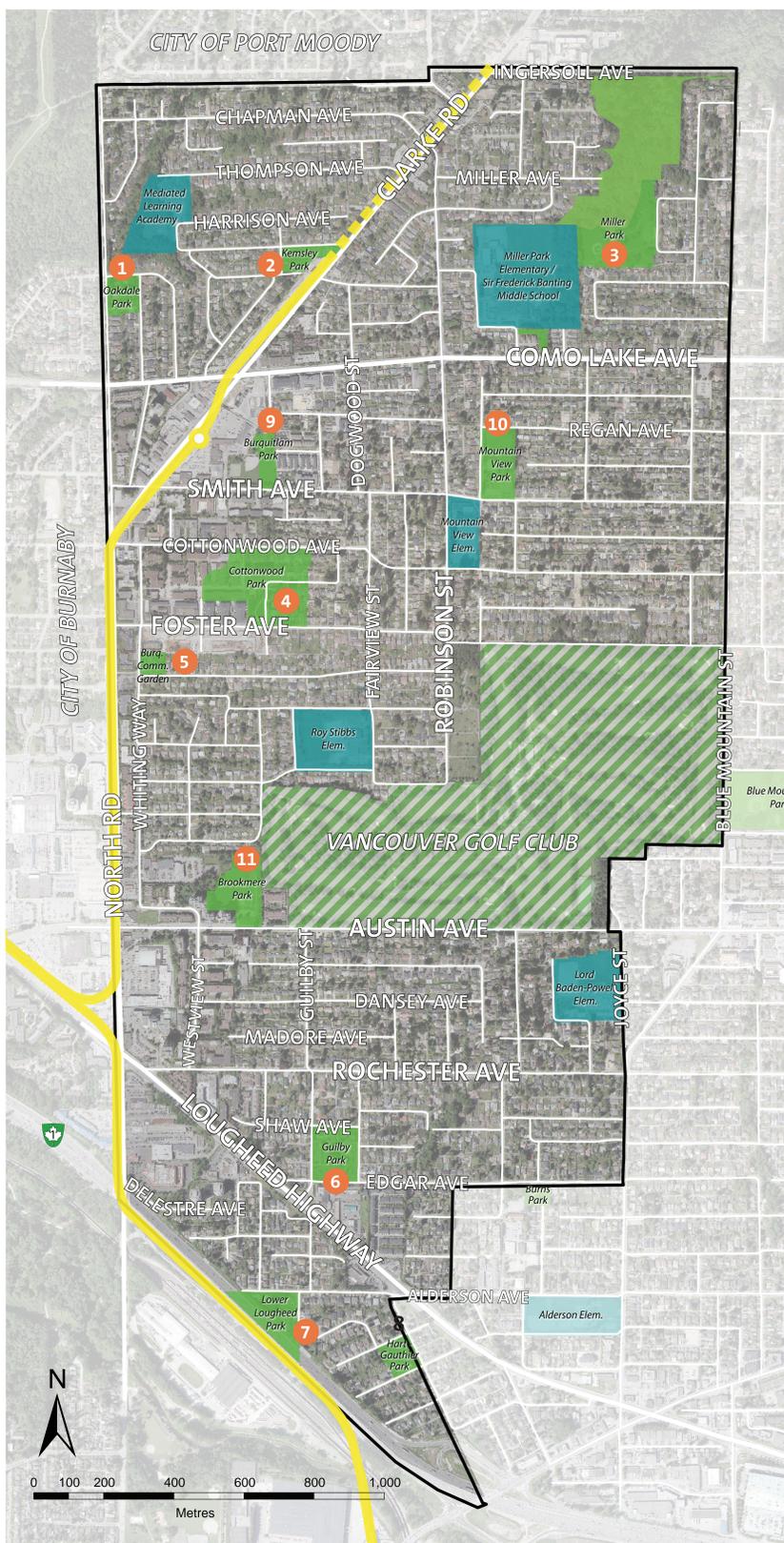
# Parks, Recreation & Culture

## Potential New Parks

New and upgraded local parks and amenities are essential to ensure the Burquitlam-Lougheed Neighbourhood is a great place to live. New park space is intended to be acquired over the life of the plan and funded by Parkland Acquisition Development Cost Charges.



The specific amenities in each park will be established at a later point with a public consultation process for each park.



## Existing and proposed parks

#	Park Name	Current Size (ha)	Potential Increase (ha)	Potential Total (ha)
1	Oakdale	0.4	0.4	0.8
2	Kemsley - Clarke	-	0.8	0.8
3	Miller	4.95	1.6	6.55
4	Cottonwood	0.9	3.87	4.76
5	Burquitlam Community Garden	0.4	0.2	0.6
6	Guilby	0.2	1.4	1.6
7	Lower Lougheed	0.2	0.4	0.6
8	Gauthier-Hart	-	0.8	0.8
9	Burquitlam <sup>1</sup>	1.55	-0.9	0.65
10	Mountainview	1.78	-	1.78
11	Brookmere	2.17	-	2.17
12	Burquitlam Area - Future	-	0.8	0.8
<b>Total:</b>		<b>12.55</b> (30.76 ac)	<b>9.37</b> (23.2 ac)	<b>21.91</b> (54.14 ac)

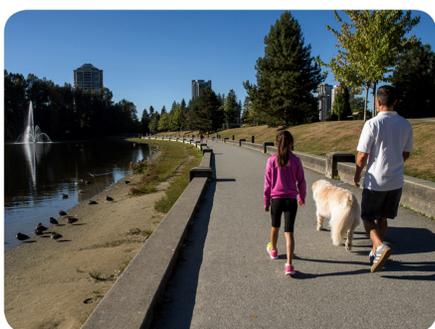
### Note:

<sup>1</sup> Reduction in Burquitlam Park size is due to the Community Recreation Facility being placed there. Cottonwood Park is being expanded to make up for this reduction.



## Legend

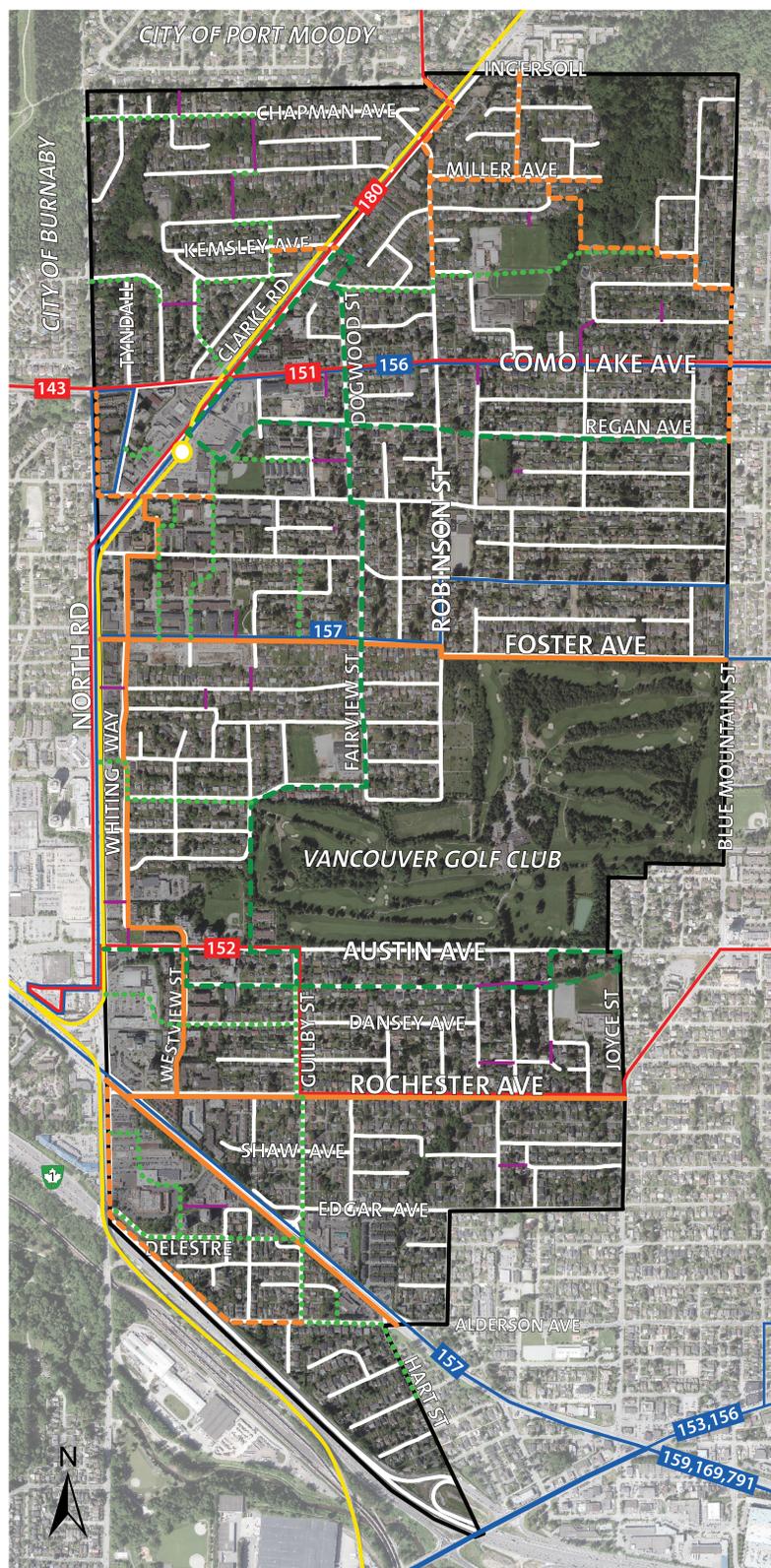
-  SkyTrain
-  Park space showing potential area increase
-  School site



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# Transportation

## Sustainable Transportation: Walking, Cycling & Transit



### Legend

- ..... Proposed Neighbourhood Greenway
- - - - - Proposed Citywide Greenway
- Existing Cycle Route
- - - - - Proposed Cycle Route
- Existing Walkway
- SkyTrain
- Bus - Peak Frequent (15 min or better)
- Bus - All Day Coverage (20/30/60 min)

## Policy Highlights

- Establish a pedestrian-friendly realm and improve crossing opportunities.
- Increase accessibility and pedestrian and cycling wayfinding.
- Improve bike connections and provide bicycle parking at public facilities.
- Work with neighbouring municipalities and TransLink to improve pedestrian and cycling linkages.
- Develop a network of citywide and neighbourhood greenways to connect pedestrians and cyclists with key destinations in the Plan area.

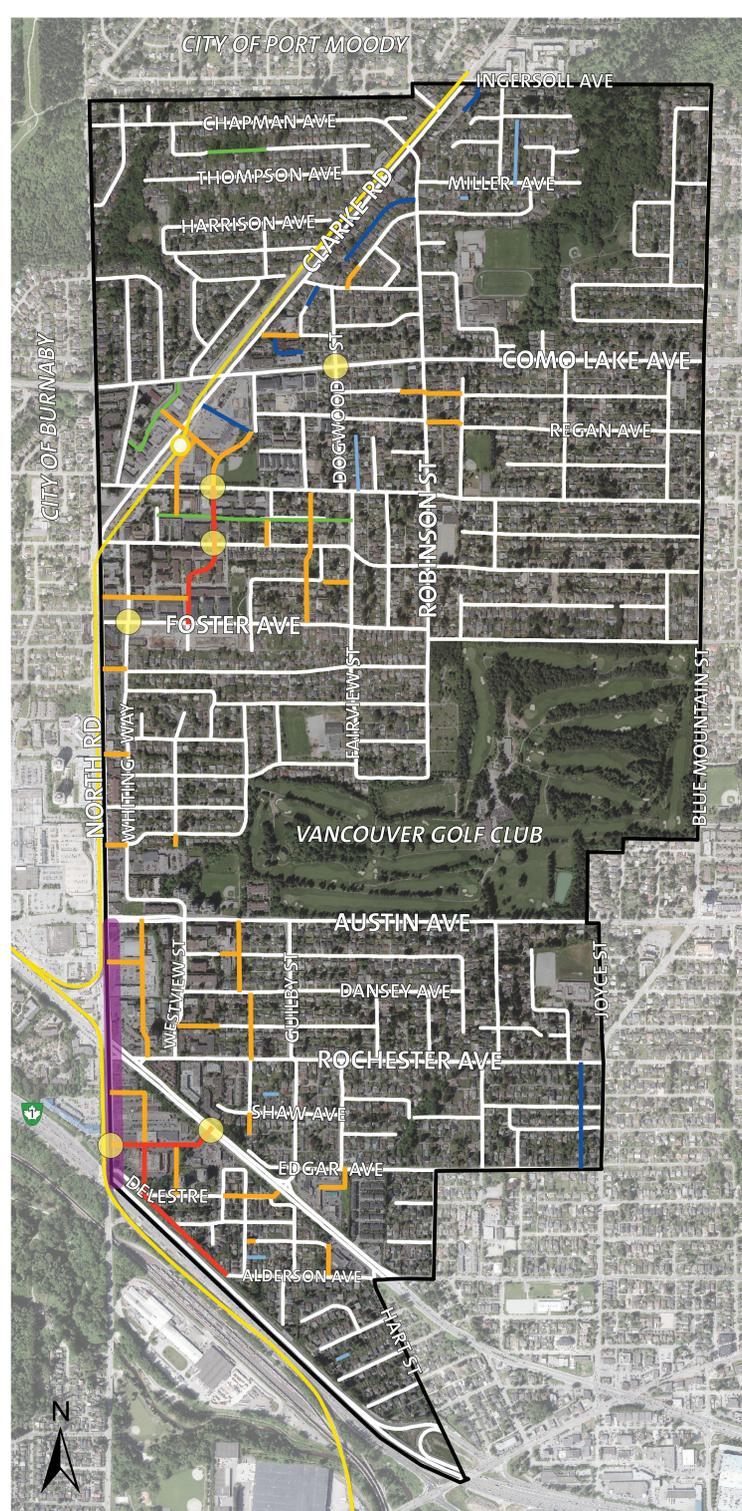


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# Transportation

## New Streets and Lanes

The BLNP area will accommodate the expected growth resulting from new developments. Future traffic patterns are anticipated to change and will be managed through the creation of a grid street network that provides more route choices.



### Legend

- New Signalized Intersection
- Municipal Collector
- High Density Local Road
- Narrow Street
- Primary Access Lane
- Standard Lane
- Additional Dedication
- SkyTrain

## How New Streets are Created

When new developments come forward, developers are required to construct all new streets and lanes related to their property. Over time, new developments will help create a well-connected street network.

## Policy Highlights

- Upgrade intersections and incorporate appropriate measures to improve safety and reduce pedestrian/vehicle conflicts.
- Establish a connected multi-modal transportation grid that supports increased connectivity and walkability.
- Seek additional dedication on North Road from Delestre to Austin Avenue to provide for a third northbound travel lane.



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# Transportation

## Managing Parking

Managing both on-street and private, off-street parking is a key component for the success of the BLNP area. Managing parking can support residential, commercial, institutional and recreational uses.



### Mixed Commercial and/or Higher Density Residential

- 1-4 hours
- Typically on-street pay parking (commercial)



### Single Family Residential

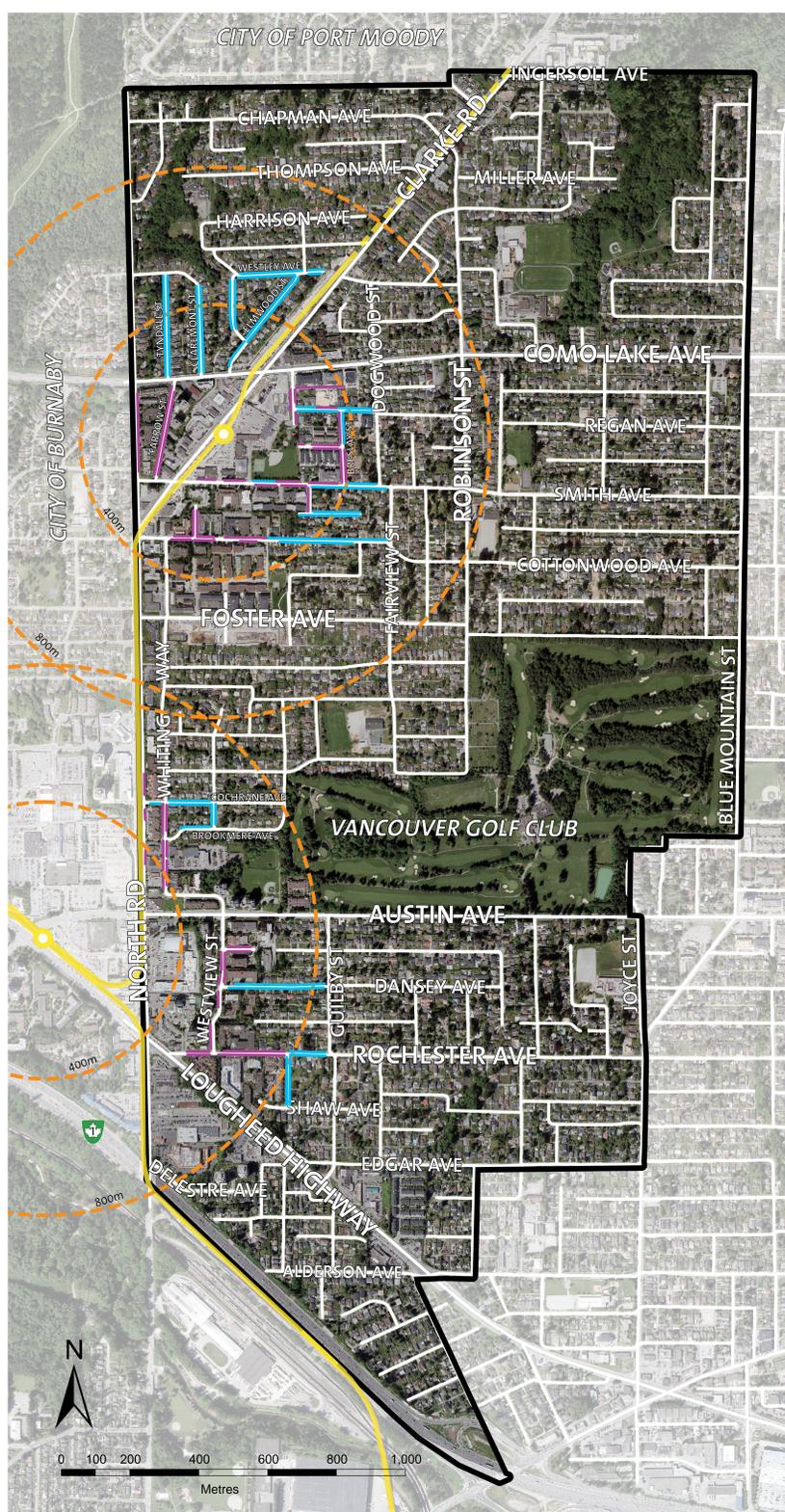
- 4 hours



Source: British Columbia Ministry of Transportation, 2010

### Civic & Major Institutional

- 2-4 hours
- Typically on-street pay parking



## Current Parking Management Approach

- Restrictions are generally in effect in Core Areas (400 metres around a SkyTrain station) from Mondays to Saturdays from 8am to 6pm.
- On-street parking is currently being monitored in Core and Shoulder Areas (800 metres around a SkyTrain station).

## In the Longer Term

- Explore time restrictions and/or pay parking upon redevelopment of commercial and multi-family blocks.
- Work with developers to explore on-site pay parking in locations close to transit stations.



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# Utility Servicing

## Utility Servicing

The provision of adequate utility servicing (water, sewer, drainage) is necessary to facilitate new development in the Burquitlam-Lougheed Neighbourhood.



## Policy Highlights

- Ensure development aligns with Integrated Watershed Management Plans (IWMPs) to protect watershed health.
- Apply the Rainwater Management Guidelines to all new development in the Plan area.
- Minimise visual and physical impact of utility boxes on the public realm.
- Place overhead utilities underground as part of new development.
- Manage stormwater to improve Stoney, Austin, and Rochester Creeks.

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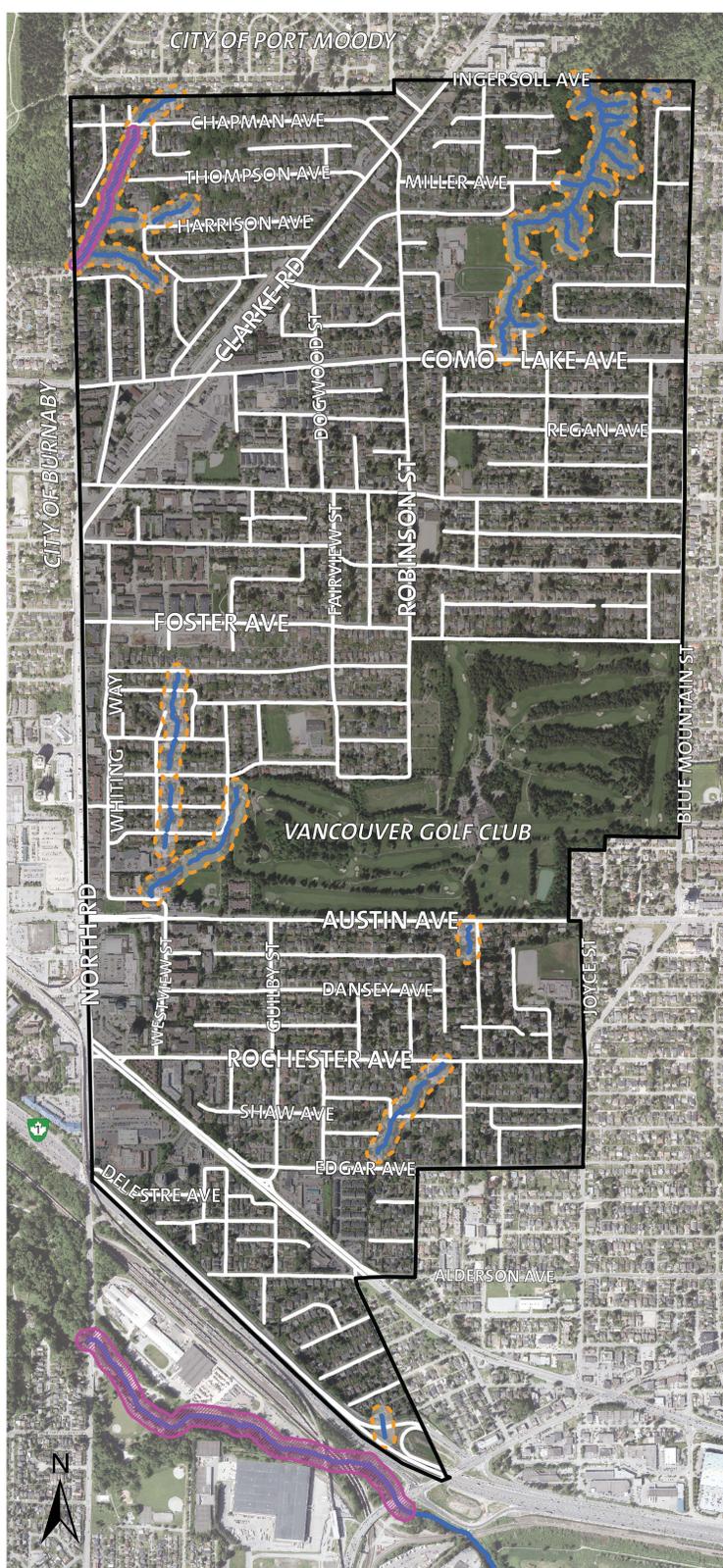
# Environment

## Watercourse Development Permit Area

The BLNP area contains important stream corridors which provide wildlife and fish habitat, including federally-protected habitat for an endangered fish species.

The proposed Watercourse Protection Development Permit Area would review all development activities within 30 metres of a watercourse, following guidelines in the Official Community Plan (OCP) and the Zoning Bylaw's Riparian Area Regulations (RAR).

Watercourse Development Permits will ensure that riparian areas and environmentally sensitive features within them are protected, stormwater runoff and water quality meet regulatory requirements, and land alteration or development will not result in erosion, landslip, or flooding.



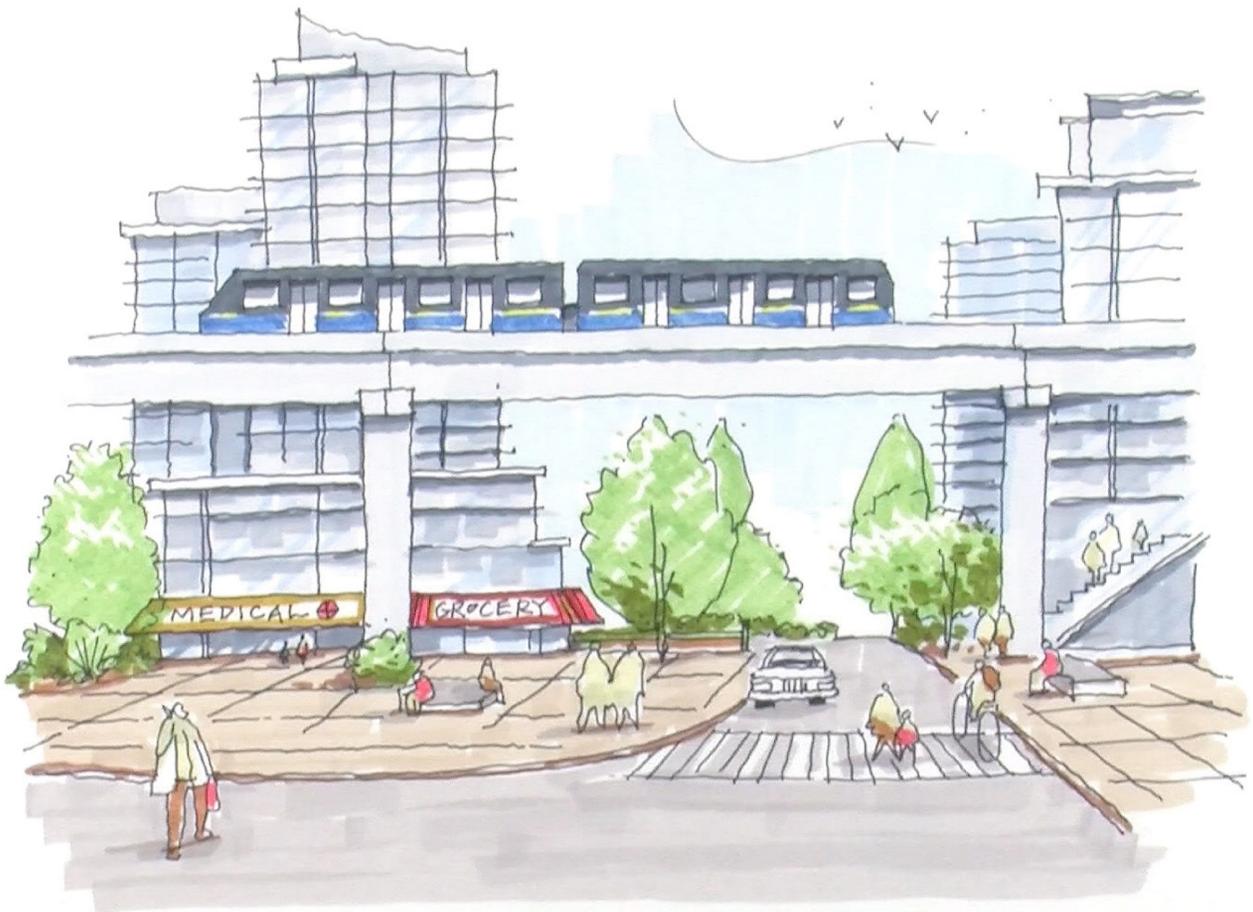
### Legend

- Watercourse
- - - Riparian Assessment Area (RAA)
- ▨ Nooksack Dace Critical Habitat protected under Federal Species at Risk Act

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# Plan Implementation

Key actions need to be undertaken to implement the BLNP and facilitate future growth and investment in the Burquitlam-Lougheed neighbourhood over the next 20-25 years.



## Key Actions

- *Prepare amendments to the Zoning Bylaw, Development Permit Guidelines to implement the Plan policies.*
- *Develop a Servicing Assessment, outlining improvements to utilities, transportation, and parks facilities.*
- *Develop Streetscape Standards to direct the development of frontage improvements.*
- *Prepare a Heritage Management Plan, including guidelines and procedures for redevelopment of heritage buildings.*
- *Prepare local area plans for the Oakdale Neighbourhood and Whiting Way/Appian Way areas at a future date.*

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# Next Steps

Your input from this Community Information Session will be used to refine the Burquitlam-Lougheed Neighbourhood Plan.

The updated Plan will then be brought back in bylaw form to Council for consideration and adoption.

## Your Feedback is Important to Us

Thank you for reviewing the information panels—please fill out a **comment form**.

## Take the Survey!

Tell us your thoughts on the draft plan by visiting [coquitlam.ca/BLNP](http://coquitlam.ca/BLNP).

## Interested in email updates?

Please visit [coquitlam.ca/BLNP](http://coquitlam.ca/BLNP) and sign up to receive project updates via email.



# Thank You!



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